

# **Townsend/Gullatt Farmhouse**

Hollywood, Jackson County, Alabama



National Register Nomination  
Historic Preservation Certification Application

November 2003 - March 2004

Completed for Betty Gullatt Budlong



**SCHNEIDER**  
Historic Preservation, LLC

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United States Department of the Interior  
National Park Service

# National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

## 1. Name of Property

historic name Townsend/Gullatt Farmhouse

other name/site number \_\_\_\_\_

## 2. Location

street & number C.R. 34, east side, 0.8 miles north of C.R. 234 ☐ not for publication N/A

city or town Hollywood ☐ vicinity N/A

state Alabama code AL county Jackson code 071 zip code 35752

## 3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1966, as amended, I hereby certify that this ☐ nomination ☐ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property ☐ meets ☐ does not meet the National Register Criteria. I recommend that this property be considered significant ☐ nationally ☐ statewide ☐ locally. (☐ See continuation sheet for additional comments.)

Signature of certifying official/Title \_\_\_\_\_ Date \_\_\_\_\_

State or Federal agency and bureau \_\_\_\_\_

In my opinion, the property ☐ meets ☐ does not meet the National Register criteria. (☐ See continuation sheet for additional comments.)

Signature of commenting or other official \_\_\_\_\_ Date \_\_\_\_\_

State or Federal agency and bureau \_\_\_\_\_

## 4. National Park Service Certification

I, hereby, certify that this property is:

Signature of the Keeper

Date of Action

☐ entered in the National Register.  
☐ See continuation sheet.

☐ determined eligible for the  
National Register  
☐ See continuation sheet.

☐ determined not eligible for the  
National Register.

☐ removed from the National  
Register.

☐ other, (explain:) \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
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\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**5. Classification****Ownership of Property**

(Check as many boxes as apply)

- ☒ private  
☐ public-local  
☐ public-State  
☐ public-Federal

**Category of Property**

(Check only one box)

- ☒ building(s)  
☐ district  
☐ site  
☐ structure  
☐ object

**Number of Resources within Property**

(Do not include previously listed resources in the count)

Contributing

Non contributing

2

3

buildings

sites

structures

objects

2

3

Total

**Name of related multiple property listing**

(Enter "N/A" if property is not part of a multiple property listing.)

**Number of contributing resources previously listed in the National Register**

0

**6. Function or Use****Historic Functions**

Enter categories from instructions)

DOMESTIC/Single Dwelling

**Current Functions**

Enter categories from instructions)

VACANT/NOT IN USE

**7. Description****Architectural Classification**

Enter categories from instructions)

MID-19TH CENTURY

**Materials**

Enter categories from instructions)

foundation STONE

walls FRAME

LOG

roof METAL

other

**Narrative Description**

(Describe the historic and current condition of the property on one or more continuation sheets.)

Please see Continuation Sheet 7-1.

## 8. Statement of Significance

### Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- ☒ **A** Property is associated with events that have made a significant contribution to the broad patterns of our history.
- ☐ **B** Property is associated with the lives of persons significant in our past.
- ☒ **C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- ☐ **D** Property has yielded, or is likely to yield, information important in prehistory or history.

### Criteria Considerations

(Mark "X" in all the boxes that apply.)

Property is:

- ☐ **A** owned by a religious institution or used for religious purposes.
- ☐ **B** removed from its original location.
- ☐ **C** a birthplace or a grave.
- ☐ **D** a cemetery.
- ☐ **E** a reconstructed building, object, or structure.
- ☐ **F** a commemorative property.
- ☐ **G** less than 50 years of age or achieved significance within the past 50 years.

### Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

## 9. Major Bibliographic References

### Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

### Previous documentation on file (NPS):

- ☐ preliminary determination of individual listing (36 CFR 67) has been requested.
- ☐ previously listed in the National Register
- ☐ previously determined eligible by the National Register
- ☐ designated a National Historic Landmark recorded by Historic American Buildings Survey # \_\_\_\_\_
- ☐ recorded by Historic American Engineering Record # \_\_\_\_\_

### Areas of Significance

(Enter categories from instructions)

Exploration/Settlement

Architecture

### Period of Significance

ca. 1860 -ca. 1930

### Significant dates

ca. 1860, ca. 1866

### Significant Person

(Complete if Criterion B is marked above)

N/A

### Cultural Affiliation

N/A

### Architect/Builder

N/A

### Primary Location of Additional Data:

- ☒ State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

Name of repository:



Townsend/Gullatt Farmstead

Name of Property

Jackson County, AL

County and State

## 10. Geographic Data

**Acreage of Property** 6.68 ac.

### UTM References

(Place additional UTM references on a continuation sheet)

1 

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Zone Easting Northing

2 

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3 

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Zone Easting Northing

4 

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☐ See Continuation Sheet

### Verbal Boundary Description

(Describe the boundaries of the property on a continuation sheet.)

### Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.)

## 11. Form Prepared By

name/title David B. Schneider, Consultant; Christy Anderson, Alabama Historical Commission

organization Schneider Historic Preservation, LLC date 30 November 2003

street & number 411 E. 6th Street telephone 256-310-6320

city or town Anniston state AL zip code 36207

### Additional Documentation

Submit the following items with the completed form:

### Continuation Sheets

### Maps

A **USGS** map (7.5 or 15 minute series) indicating the property's location.

A **sketch map** for historic districts and properties having large acreage or numerous resources.

### Photographs

Representative **black and white** photographs of the property.

### Additional items

(Check with the SHPO or FPO for any additional items)

### Property Owner

(Complete this item at the request of the SHPO or FPO.)

name/title

street & number telephone

city or town state zip code

**Paperwork Reduction Act Statement:** This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).

**Estimated Burden Statement:** Public reporting burden for this form is estimated to average 18.1 hours per response including the time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reduction Project (1024-0018), Washington, DC 20503.

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National Park Service

# National Register of Historic Places Continuation Sheet

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Townsend/Gullatt Farmhouse  
Jackson County, AL

## 7. Narrative Description

The Townsend/Gullatt Farmstead is located on a rural agricultural site. The farmstead includes a contributing main farmhouse (circa 1870), a contributing log secondary dwelling to its north (circa 1860), and three noncontributing outbuildings: a well house (circa 1960), a privy (circa 1955) and a shed (circa 1955). The site slopes slightly from west to east.

### Farmhouse

The farmhouse is an L-shaped 1-story frame dwelling with a cross gable V-crimped metal roof. The roof has a decorative cross gable centered at its front slope and boxed cornices with plain frieze boards and returns. The house faces west and has a 3x1 bay core with a 3-bay deep L wing to the north and a rear shed extension to the south. The L appears to have been slightly extended in the 20th century. A less than full façade hipped porch extends across the center of the façade and is supported by wood posts. A former hipped porch along the south elevation of the rear wing has lost its deck and supports. Cut limestone exterior end chimneys are centered at the side elevations of the core and an interior limestone chimney is located within the L. The exterior is clad with wood weatherboards. The foundation is constructed of cut limestone.

The principal entrance is centered at the facade and has a multi-light transom with sidelights and retains a historic single light over paneled door. Tall single wood 1/1 double hung sash windows flank the entrance and are now covered with plywood. Ventilation openings at the foundation correspond to the windows above. The northern opening retains horizontal wood vermin bars. The two western bays of the south elevation represent the core and the rear shed extension. A single tall 1/1 window at the core is similar to those at the façade and flanks the chimney to the east. A lower single window is centered at the extension and has replacement 4/2 sash. Both windows are covered with plywood. The rear L wing has two single entrances with modern wood doors covered with plywood. The former porch along the L retains only its roof and vestiges of its historic decking. Most of the deck and all of its supports have been lost. The rear (east) elevation has a single 6/6 window covered with plywood at its south bay and a modern multi-light door and sidelight unit (circa 1960) at its center bay corresponding to the rear porch. A small 6-light window is centered at the rear elevation of the L. The north elevation of the core is similar to the south elevation. A single window to the east of the chimney has replacement 1/3 sash. Single 6/6 windows, all covered with plywood, are found at the three bays of the L.

The interior plan of the core consists of a central hall flanked by parlors. Single entrances with simple sawn 4-panel doors lead from the hall to the adjoining rooms. The ceiling and walls are finished with sheetrock replacing historic plaster finishes. Door surrounds and baseboards are simple plain boards. Historic wood flooring has been covered with resilient tile. Each parlor has a fireplace centered at its outer wall with a simple folk-Victorian style mantelpiece. Ceiling, wall and floor finishes and trim are similar to that of the hall. A secondary hall to the east within the rear extension was altered by the

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addition of a series of closets (circa 1960) and the replacement of its former entrance to the rear porch. Secondary rooms are located to the south of the rear hall within the extension and to the north within the L. Ceiling, wall and floor finishes and trim are similar to the parlors except at the center room of the L which retains simple beaded board ceiling and wall finishes.

Non-historic alterations to the house have been minimal and have generally included the replacement of ceiling, wall and floor finishes within the interior, the construction of closet partitions within the rear hall, and the replacement of the entrance system from the rear hall to the rear porch. The overall condition of the house is fair with some moisture-related deterioration and extensive deferred maintenance.

The site retains a contributing log dwelling (mid to late 19th century), a noncontributing concrete block well house (circa 1960), a noncontributing frame privy (circa 1955), and a noncontributing frame shed (circa 1955).

Log Dwelling (mid to late 19th century)

A rectangular 1-story log dwelling with a side gable corrugated metal roof and an extended eave to the south is located north of the farmhouse. The house faces west and has a 3x1 bay core with a rear shed extension. A former exterior end stone chimney centered at the south elevation has collapsed. A shed porch with wood posts extends the full width of the facade. Single wood 6/6 double hung sash windows are set at the outer ends of facade and a single entrance is located immediately north of the southern window. The facade is covered with flush board siding. The log frame of the core is exposed at its south elevation and has half-dovetail corners. The rear shed extension is clad with board & batten siding. A single wood 6/6 window is located to the rear of the chimney and the extension has no openings. The rear elevation has a series of single sash windows. The north elevation is clad with board and batten siding and has a single 6/6 window centered at the core.

The building appears to have been constructed as a one room house with a second room added to the north in the late 19th to early 20th century. The interior is presently used for storage and ceiling and wall finishes are sheetrock. The building is in generally fair condition.

Well House (circa 1960)

A small noncontributing concrete block well house with a gable composition shingle roof is located to the south of the farmhouse.

Privy (circa 1955)

A small noncontributing frame privy with a simple shed roof and vertical board siding is located to the east of the farmhouse.

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Shed (circa 1955)

The noncontributing frame shed is located immediately north of the log dwelling and is a one-story frame building with a front-facing gable corrugated metal roof.



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Townsend/Gullatt Farmhouse  
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The Townsend/Gullatt Farm is significant under National Register criteria A for its historical associations with the settlement of Jackson County. Documentary evidence indicates that the log ancillary dwelling on the property was constructed circa 1860, about the time John T.N. Card, Robert Johnson, and Thomas Province acquired the property which had previously been reserved by the State of Alabama as school land. The transfer marks the close of the county's major period of settlement which had begun in the 1820s. The principal farmhouse, constructed for Daniel Townsend sometime shortly after he acquired the property in 1866, is also significant under criterion C as a good example of a modest mid-nineteenth century Jackson County farmhouse. The period of significance for the property extends from circa 1860, the earliest date by which documentary evidence indicates an associated log dwelling on the property may have been constructed, through circa 1930 when the farmhouse ceased to be a primary residence.

## Historical Narrative

On May 21, 1860, John T.N. Card, Robert Johnson, and Thomas Province signed a bond of surety with Daniel Townsend to secure "title from the State of Alabama to the sixteenth section of school land in said Township Three of Range Six in Jackson County, Alabama." Johnson and Card paid off the balance owed on November 13, 1863 and were subsequently issued a patent for the land from the State of Alabama on January 23, 1866. Physical evidence suggests that the log house on the property was constructed circa 1860. On June 21, 1866, the estate of Michael Johnson sold the property to Townsend.<sup>1</sup>

Daniel Townsend is listed in the 1860 census living in Township 3, Range 6 of Jackson County. A forty-eight year old farmer born in Virginia, he was then residing with Nancy (age thirty-eight, born in Virginia) and children Musgrove (age nine, born in Virginia), Luvena (age 4, born in Tennessee), Marcellus (age 2, born in Tennessee), and Emma (age 3/12, born in Alabama). Townsend listed his assets as including \$9,690 in real estate and \$10,400 in personal property.<sup>2</sup> The slave census for that year indicates that he owned eight slaves. Architectural and physical evidence indicates that the principal farmhouse on the site was constructed during this period, with documentary evidence suggesting a date between 1866 and 1870. No other information has been found to document other outbuildings that may have existed on the site and, other than the log dwelling, no other surviving buildings date from this period.

The 1870 census lists Townsend residing in Bellefonte Beat 10, Jackson County, Alabama, Big Coon Post Office. Townsend listed assets of \$4,000 in real estate and \$600 in personal property. The census also lists the following people residing with Townsend: Mary A (age twenty-two, born in Alabama, keeping house), Luvina, Marcellus (farm laborer), and Emma.<sup>3</sup> Townsend married Polly Rodden on March 29, 1870 and she is listed as his wife in the 1880 census. The 1880 census also recorded additional children included: John (age nine), Parks (age seven), Parthena (age six), and Robert (age one). Marcellus is recorded in a separate entry in 1880 directly below that of Daniel and Polly

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Townsend/Gullatt Farmhouse  
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Townsend and is listed as a farmer (age twenty-three) residing with his wife Cynthia and three children.<sup>4</sup>

"The whole of section 16 known as the Townsend place..." was acquired by Sallie Brown from W. J. and Mary E. Tally on December 29, 1904 as part of a transaction involving several parcels.<sup>5</sup> Brown and her husband C.W. sold the property on November 28, 1917 to Thomas B. Vance and J. W. Starkey.<sup>6</sup> On October 14, 1918, John F. Gullatt acquired the half interests in Section 16 previously owned by Vance and Starkey.<sup>7</sup> Gullatt was from prominent local family that had settled in Jackson County in the 1830s. He continued to farm the property until 1930 or 1931 when he moved his family to Connecticut to work with a family dry cleaning business.<sup>8</sup> The Gullatts retained ownership of the property and the farm was operated by tenants. The remaining buildings on the site, a well house, privy and shed, were constructed in the mid-twentieth century. The farmhouse was vacated in the late 1950s or early 1960s when a new house was constructed for the tenants and it has remained unoccupied since that time. The property is now owned by John F. Gullatt's granddaughter, Betty Gullatt Budlong.

## Settlement

Settlement on the property corresponds to the end of Jackson County's major period of development which began in the 1820s. While sporadic white settlement had occurred prior to that time, the county was largely settled between 1820 and 1860. White population rose forty percent between 1820 and 1830, from 8,129 to 11,418 residents. The 1820 slave population of 539 rose to 1,264 by 1830, representing six and ten percent of the county's total population respectively. By 1840, white population rose by an additional twenty three percent to 13,853 and slave population reached 1,816. Over the next two decades, the county's white population rose more slowly, averaging only about a seven percent increase. On the other hand, the slave population rose more dramatically and reached 3,405 by 1840, an eighty-seven percent increase. By 1860, slaves accounted for almost nineteen percent of the county's population.

A comparison of 1860 census records indicates that Daniel Townsend's assets were higher than most Jackson County residents of the time, although numerous individuals possessed far larger estates. His eight slaves were a modest number compared to other slaveholders in the county.

## Architecture

The Townsend/Gullatt Farm retains two historic resources: The Townsend/Gullatt Farmhouse, a frame dwelling dating from circa 1870, and a log dwelling dating from circa 1860. Documentary, physical and stylistic evidence indicates that the Townsend/Gullatt Farmhouse was constructed shortly after the property was acquired by Daniel Townsend in 1866. Architecturally, the house exhibits folk Victorian stylistic details that are transitional in character from the Greek Revival. Significant features of the exterior include its boxed cornice with returns, limestone chimneys, central roof gable, oversized facade windows, gable porch and central entrance with transom and sidelights. The modest interior is defined

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Townsend/Gullatt Farmhouse  
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by its overall central hall plan, spatial character, and surviving trim which includes several period mantelpieces. The house retains its overall architectural integrity and is representative of a modest mid-nineteenth century Jackson County farmhouse. The log dwelling appears to have been constructed as a single room house. Documentary and physical evidence suggest that it was constructed somewhat earlier than the Townsend/Gullatt Farmhouse and it may have served as a first period settler's cottage dating from circa 1860.

## Archaeology

The site has potential to yield archaeological information on other former agricultural and domestic outbuildings.

## Notes

- 1 Jackson County, Alabama. Judge of Probate. Deed Book H, p. 357
- 2 1860 Census.
- 3 1870 Census.
- 4 1880 Census.
- 5 Deed Book 49, p. 331.
- 6 Deed Book 56, p. 340.
- 7 Deed Book 59, pp. 35 and 36.
- 8 Betty Gullatt Budlong, "Gullatt Farmhouse Hollywood Alabama," August 2003.

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National Park Service

# National Register of Historic Places Continuation Sheet

Section number 9 Page 7

Townsend/Gullatt Farmhouse  
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## 9. Major Bibliographic References

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National Park Service

# National Register of Historic Places Continuation Sheet

Section number 10 Page 8

Townsend/Gullatt Farmhouse  
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## 10. Geographic Data

### Verbal Boundary Description

The nominated property includes 6.7 acres of a larger 1,000 acre tract recorded in the Tax Assessor's Office for Jackson County as parcel number 20-05-16-0-000-001.000. The subparcel is indicated on the accompanying scaled siteplan titled "Townsend/Gullatt Farmstead Siteplan."

### Boundary Justification

The boundary includes the two contributing resources and sufficient land to indicate the traditional historic setting of the farmstead. The boundary therefore has been determined by projecting lines parallel to the south and east elevations of the main farmhouse, the north elevation of the log house, and along the centerline of the farm lane as indicated on the attached siteplan titled "Townsend/Gullatt Farmstead Siteplan."

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Section number Photos Page 9

**Townsend/Gullatt Farmhouse**  
Jackson County, AL

Photographs:

1. Townsend/Gullatt Farmhouse
2. Hollywood, Jackson County, Alabama
3. David B. Schneider
4. November 2003
5. 411 E. 6th St., Anniston AL 36207
6. Facade, camera facing E
7. Photo #1
  
6. Site, camera facing NE
7. Photo #2
  
6. Oblique, camera facing NW
7. Photo #3
  
6. Oblique, camera facing SW
7. Photo #4
  
6. Interior, Parlor, camera facing SE
7. Photo #5
  
6. Log house, oblique, camera facing NE
7. Photo #6

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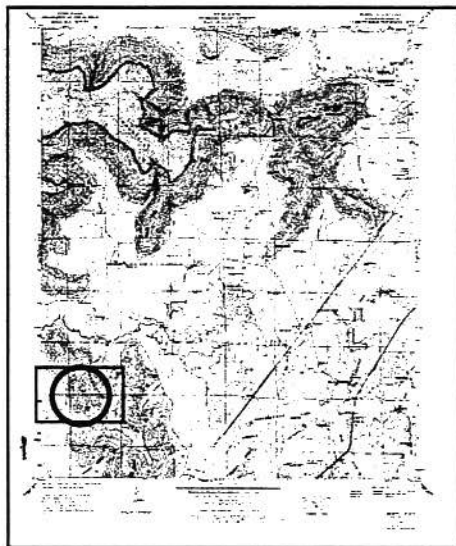
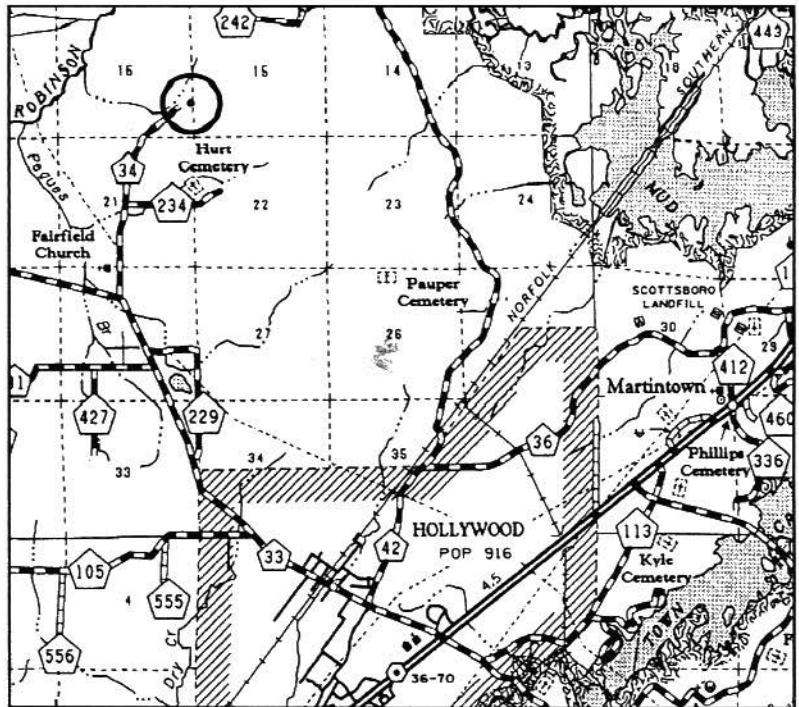
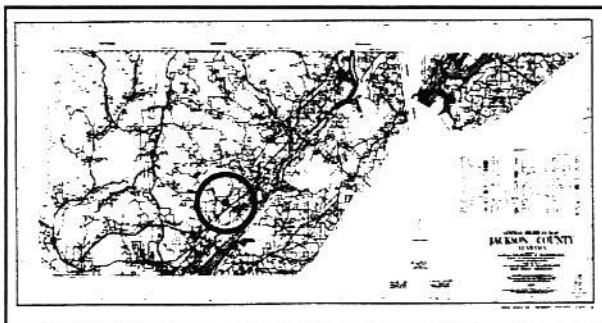
# National Register of Historic Places Continuation Sheet

Accompanying Documentation, Continuation Sheet #1

Section number \_\_\_\_\_ Page \_\_\_\_\_

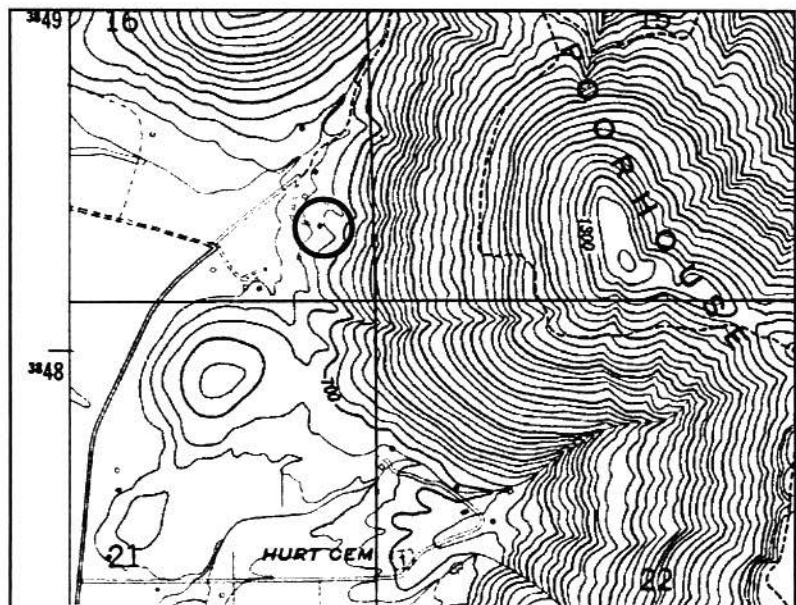
Townsend/Gullatt Farmhouse  
Jackson County, AL

## General Location Maps



Wannville Quadrangle

16 / 592207 E / 3848371 N  
Created 1947, Revised 1970



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National Park Service

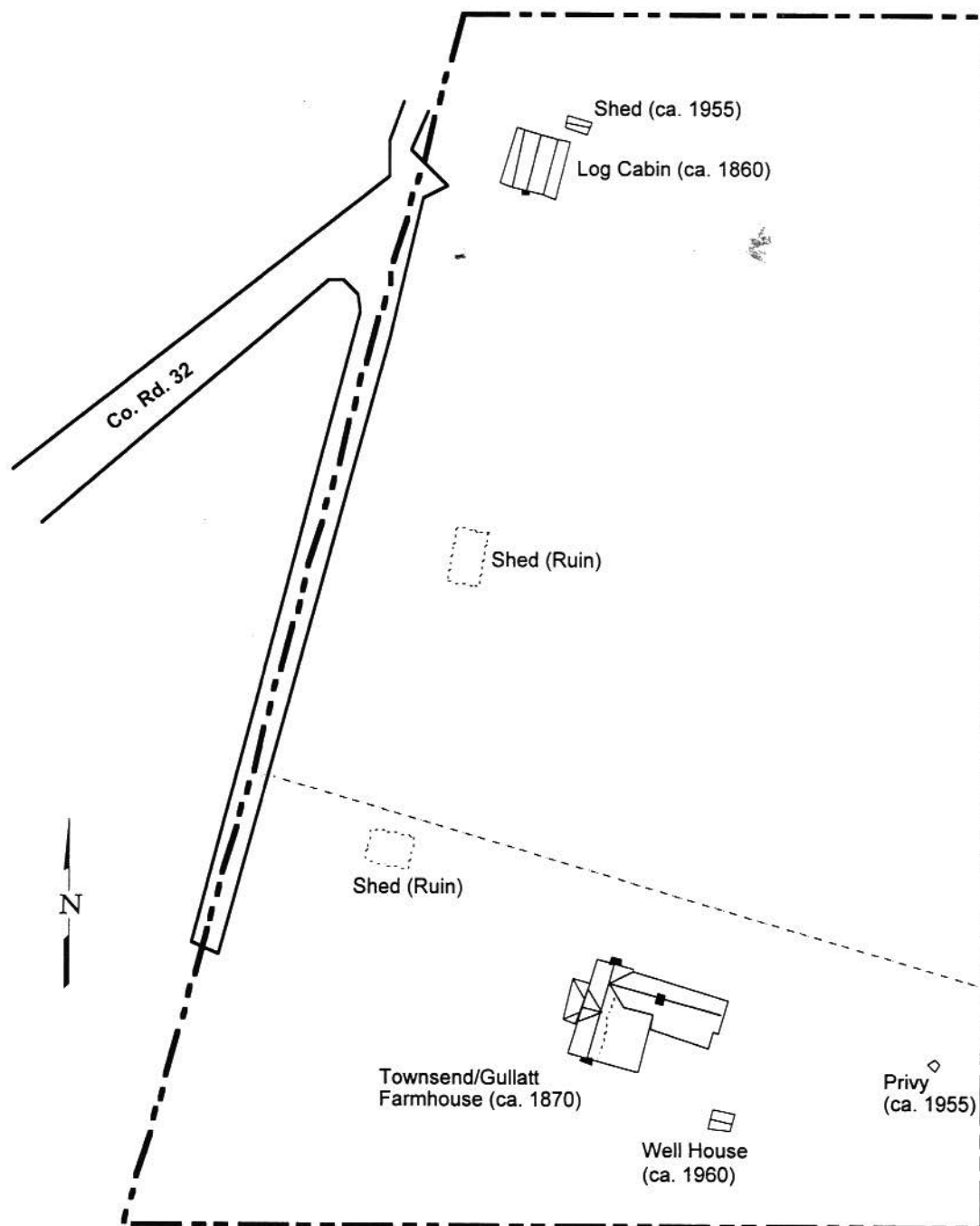
# National Register of Historic Places Continuation Sheet

Accompanying Documentation, Continuation Sheet #2

Section number \_\_\_\_\_ Page \_\_\_\_\_

Townsend/Gullatt Farmhouse  
Jackson County, AL

## Site Plan (Photo Directions Indicated)



100'



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National Park Service

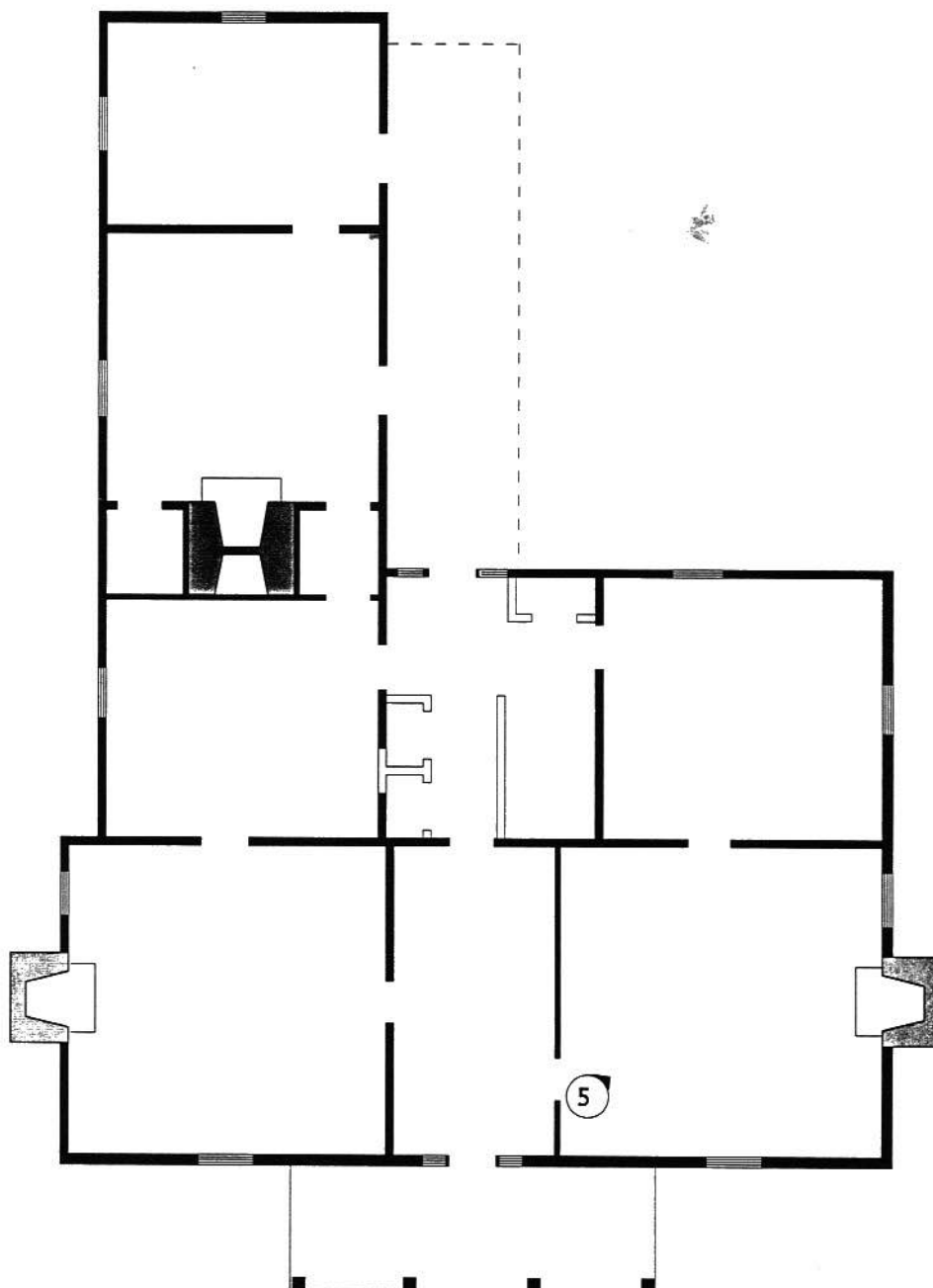
# National Register of Historic Places Continuation Sheet

Accompanying Documentation, Continuation Sheet #3

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Townsend/Gullatt Farmhouse  
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Floorplan (Photo Directions Indicated)



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# National Register of Historic Places Continuation Sheet

Accompanying Documentation, Continuation Sheet #4

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Townsend/Gullatt Farmhouse  
Jackson County, AL



## Photographs:

1. Townsend/Gullatt Farmhouse
2. Hollywood, Jackson County, Alabama
3. David B. Schneider
4. November 2003
5. 411 E. 6th St., Anniston AL 36207
6. Facade, camera facing E
7. Photo #1



6. Site, camera facing NE
7. Photo #2



6. Oblique, camera facing NW
7. Photo #3



6. Oblique, camera facing SW
7. Photo #4

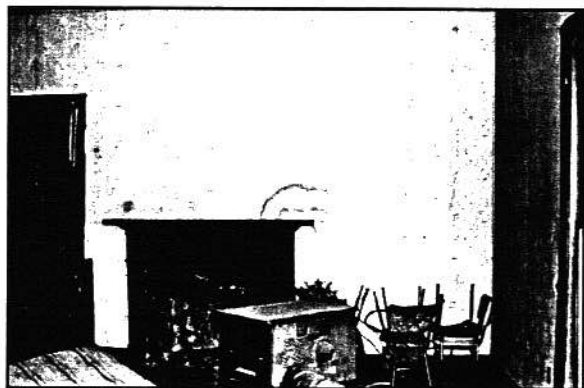
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# National Register of Historic Places Continuation Sheet

Accompanying Documentation, Continuation Sheet #5

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Townsend/Gullatt Farmhouse  
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- 6. Interior, Parlor, camera facing SE
- 7. Photo #5



- 6. Log house, oblique, camera facing NE
- 7. Photo #6

UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE

HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 1 - EVALUATION OF SIGNIFICANCE

NPS Office Use Only

NPS Office Use Only

NRIS No:

Project No:

Instructions: Read the instructions carefully before completing application. No certification will be made unless a completed application form has been received. Type or print clearly in black ink. If additional space is needed, use continuation sheets or attach blank sheets.

1. Name of property: Townsend/Gullatt Farmhouse

Address of property: Street C.R. 34, east side, 0.8 miles north of C.R. 234

City Hollywood County Jackson State AL Zip 35752

Name of historic district: \_\_\_\_\_

☐ National register district ☐ certified state or local district ☐ potential historic district

2. Check nature of request:

- ☐ certification that the building contributes to the significance of the above-named historic district (or National Register property) for the purpose of rehabilitation.
- ☐ certification that the structure or building and, where appropriate, the land area on which such a structure or building is located contributes to the significance of the above-named historic district for charitable conservation purposes.
- ☐ certification that the building does not contribute to the above-named historic district.
- ☒ preliminary determination for individual listing in the National Register.
- ☐ preliminary determination that a building located within a potential historic district contributes to the significance of the district.
- ☐ preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Project contact:

Name David B. Schneider, Schneider Historic Preservation, LLC

Street 411 E. 6th Street City Anniston

State Alabama Zip 36207 Daytime Telephone Number 256-310-6320

4. Owner:

I hereby certify that the information I have provided is, to the best of my knowledge, correct, and that I own the described property. I understand that falsification of factual representations in this application is subject to criminal sanctions of up to \$10,000 in fines or imprisonment for up to five years pursuant to 18 U.S.C. 1001.

Name Betty Gullatt Budlong Signature \_\_\_\_\_ Date \_\_\_\_\_

Organization \_\_\_\_\_

Social Security or Taxpayer Identification Number 047-28-4953

Street 3216 Mandeville Canyon Rd. City Los Angeles

State California Zip 90049 Daytime Telephone Number 310-476-4148

NPS Office Use Only

The National Park Service has reviewed the "Historic Preservation Certification Application - Part 1" for the above-named property and hereby determines that the property:

- ☐ contributes to the significance of the above-named district (or National Register property) and is a "certified historic structure" for the purpose of rehabilitation.
- ☐ contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes in accordance with the Tax Treatment Extension Act of 1980.
- ☐ does not contribute to the significance of the above-named district.

Preliminary Determinations

- ☐ appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to procedures set forth in 36 CFR Part 60.
- ☐ does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
- ☐ appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
- ☐ appears to contribute to the significance of a registered historic district but is outside the period or area of significance as documented in the National Register nomination or district documentation on file with NPS.
- ☐ does not appear to qualify as a certified historic structure.



HISTORIC PRESERVATION  
CERTIFICATION APPLICATION-  
PART ONE

NPS Office Use Only

Project Number

Townsend/Budlong Farmhouse

Property Name

Hollywood, Jackson Co., Alabama

Property Address

5. Description of Physical Appearance:

The Townsend/Gullatt Farmstead is located on a rural agricultural site. The farmstead includes a contributing main farmhouse (circa 1870), a contributing log secondary dwelling to its north (circa 1860), and three noncontributing outbuildings: a well house (circa 1960), a privy (circa 1955) and a shed (circa 1955). The site slopes slightly from west to east.

Farmhouse

The farmhouse is an L-shaped 1-story frame dwelling with a cross gable V-crimped metal roof. The roof has a decorative cross gable centered at its front slope and boxed cornices with plain frieze boards and returns. The

(See Continuation Sheet #1)

Date of Construction: 1870 ca. Source of Date: Documentarey & physical evidence

Date (s) of Alteration (s): N/A

Has building been moved? ☐ yes ☒ no. If so, when? N/A

6. Statement of Significance:

The Townsend/Gullatt Farm is significant under National Register criteria A for its historical associations with the settlement of Jackson County. Documentary evidence indicates that the log ancillary dwelling on the property was constructed circa 1860, about the time John T.N. Card, Robert Johnson, and Thomas Province acquired the property which had previously been reserved by the State of Alabama as school land. The transfer marks the close of the county's major period of settlement which had begun in the 1820s. The principal farmhouse, constructed for Daniel Townsend sometime shortly after he acquired the property in 1866, is also significant under criterion C as a good example of a modest mid-nineteenth century Jackson County farmhouse. The period of significance for the property extends from circa 1860, the earliest date by which documentary evidence indicates an associated log dwelling on the property may have been constructed, through circa 1870 when the principal farmhouse was constructed.

Historical Narrative

On May 21, 1860, John T.N. Card, Robert Johnson, and Thomas Province signed a bond of surety with Daniel Townsend to secure "title from the State of Alabama to the sixteenth section of school land in said Township Three of Range Six in Jackson County, Alabama." Johnson and Card paid off the balance owed on November 13, 1863 and were subsequently issued a patent for the land from the State of Alabama on January 23, 1866. Physical evidence suggests that the log house on the property was constructed circa 1860. On June 21, 1866, the estate of Michael Johnson sold the property to Townsend.

(See Continuation Sheet #3)

7. Photographs and Maps.

Attach photographs and maps to application.

## CONTINUATION/AMENDMENT SHEET

Historic Preservation  
Certification Application

Townsend/Gullatt Farmhouse

Property Name

Hollywood, Jackson Co., Alabama

Property Address

*Continuation Sheet #1*

### 5. Physical Description, Continued.

house faces west and has a 3x1 bay core with a 3-bay deep L wing to the north and a rear shed extension to the south. The L appears to have been slightly extended in the 20th century. A less than full façade hipped porch extends across the center of the façade and is supported by wood posts. A former hipped porch along the south elevation of the rear wing has lost its deck and supports. Cut limestone exterior end chimneys are centered at the side elevations of the core and an interior limestone chimney is located within the L. The exterior is clad with wood weatherboards. The foundation is constructed of cut limestone.

The principal entrance is centered at the facade and has a multi-light transom with sidelights and retains a historic single light over paneled door. Tall single wood 1/1 double hung sash windows flank the entrance and are now covered with plywood. Ventilation openings at the foundation correspond to the windows above. The northern opening retains horizontal wood vermin bars. The two western bays of the south elevation represent the core and the rear shed extension. A single tall 1/1 window at the core is similar to those at the façade and flanks the chimney to the east. A lower single window is centered at the extension and has replacement 4/2 sash. Both windows are covered with plywood. The rear L wing has two single entrances with modern wood doors covered with plywood. The former porch along the L retains only its roof and vestiges of its historic decking. Most of the deck and all of its supports have been lost. The rear (east) elevation has a single 6/6 window covered with plywood at its south bay and a modern multi-light door and sidelight unit (circa 1960) at its center bay corresponding to the rear porch. A small 6-light window is centered at the rear elevation of the L. The north elevation of the core is similar to the south elevation. A single window to the east of the chimney has replacement 1/3 sash. Single 6/6 windows, all covered with plywood, are found at the three bays of the L.

The interior plan of the core consists of a central hall flanked by parlors. Single entrances with simple sawn 4-panel doors lead from the hall to the adjoining rooms. Ceilings are typically finished with beaded board and walls are finished with sheetrock replacing historic plaster finishes. Door surrounds and baseboards are simple plain boards. Historic wood flooring has been covered with resilient tile. Each parlor has a fireplace centered at its outer wall with a simple folk-Victorian style mantelpiece. Ceiling, wall and floor finishes and trim are similar to that of the hall. A secondary hall to the east within the rear extension was altered by the addition of a series of closets (circa 1960) and the replacement of its former entrance to the rear porch. Secondary rooms are located to the south of the rear hall within the extension and to the north within the L. Ceiling, wall and floor finishes and trim are similar to the parlors except at the center room of the L which retains simple beaded board ceiling and wall finishes.

Non-historic alterations to the house have been minimal and have generally included the replacement of ceiling, wall and floor finishes within the interior, the construction of closet partitions within the rear hall, and the replacement of the entrance system from the rear hall to the rear porch. The overall condition of the house is fair with some moisture-related deterioration and extensive deferred maintenance.

The site retains a contributing log dwelling (mid to late 19th century), a noncontributing concrete block well house (circa 1960), a noncontributing frame privy (circa 1955), and a noncontributing frame shed (circa 1955).

*Continued on Next Sheet*

## CONTINUATION/AMENDMENT SHEET

### Historic Preservation Certification Application

Townsend/Gullatt Farmhouse

Property Name

Hollywood, Jackson Co., Alabama

Property Address

**Continuation Sheet #2**

#### 5. Physical Description, Continued.

The farmhouse and associated outbuildings are located near the base of a mountain on a wooded site. Open agricultural land, most of which is now pasture land, surrounds the property to the west and south covering what traditionally had been cropland. Conversion of the land to pasture and the presence of scattered modern dwellings and agricultural buildings have altered the historic landscape setting of the site.

##### Log Dwelling (mid to late 19th century)

A rectangular 1-story log dwelling with a side gable corrugated metal roof and an extended eave to the south is located north of the farmhouse. The house faces west and has a 3x1 bay core with a rear shed extension. A former exterior end stone chimney centered at the south elevation has collapsed. A shed porch with wood posts extends the full width of the facade. Single wood 6/6 double hung sash windows are set at the outer ends of facade and a single entrance is located immediately north of the southern window. The facade is covered with flush board siding. The log frame of the core is exposed at its south elevation and has half-dovetail corners. The rear shed extension is clad with board & batten siding. A single wood 6/6 window is located to the rear of the chimney and the extension has no openings. The rear elevation has a series of single sash windows. The north elevation is clad with board and batten siding and has a single 6/6 window centered at the core.

The building appears to have been constructed as a one room house with a second room added to the north in the late 19th to early 20th century. The interior is presently used for storage and ceiling and wall finishes are sheetrock. The building is in generally fair condition.

Well House (circa 1960): A small noncontributing concrete block well house with a gable composition shingle roof is located to the south of the farmhouse.

Privy (circa 1955): A small noncontributing frame privy with a simple shed roof and vertical board siding is located to the east of the farmhouse.

Shed (circa 1955): The noncontributing frame shed is located immediately north of the log dwelling and is a one-story frame building with a front-facing gable corrugated metal roof.

Shed Ruins (circa 1955): The remains of two collapsed modern frame sheds are also located within the yard.

## CONTINUATION/AMENDMENT SHEET

Historic Preservation  
Certification Application

Townsend/Gullatt Farmhouse

Property Name

Hollywood, Jackson Co., Alabama

Property Address

*Continuation Sheet #3*

### 6. Statement of Significance, Continued.

Daniel Townsend is listed in the 1860 census living in Township 3, Range 6 of Jackson County. A forty-eight year old farmer born in Virginia, he was then residing with Nancy (age thirty-eight, born in Virginia) and children Musgrove (age nine, born in Virginia), Luvena (age 4, born in Tennessee), Marcellus (age 2, born in Tennessee), and Emma (age 3/12, born in Alabama). Townsend listed his assets as including \$9,690 in real estate and \$10,400 in personal property. The slave census for that year indicates that he owned eight slaves. Architectural and physical evidence indicates that the principal farmhouse on the site was constructed during this period, with documentary evidence suggesting a date between 1866 and 1870. No other information has been found to document other outbuildings that may have existed on the site and, other than the log dwelling, no other surviving buildings date from this period.

The 1870 census lists Townsend residing in Bellefonte Beat 10, Jackson County, Alabama, Big Coon Post Office. Townsend listed assets of \$4,000 in real estate and \$600 in personal property. The census also lists the following people residing with Townsend: Mary A (age twenty-two, born in Alabama, keeping house), Luvena, Marcellus (farm laborer), and Emma. Townsend married Polly Rodden on March 29, 1870 and she is listed as his wife in the 1880 census. The 1880 census also recorded additional children included: John (age nine), Parks (age seven), Parthena (age six), and Robert (age one). Marcellus is recorded in a separate entry in 1880 directly below that of Daniel and Polly Townsend and is listed as a farmer (age twenty-three) residing with his wife Cynthia and three children.

"The whole of section 16 known as the Townsend place..." was acquired by Sallie Brown from W. J. and Mary E. Tally on December 29, 1904 as part of a transaction involving several parcels. Brown and her husband C.W. sold the property on November 28, 1917 to Thomas B. Vance and J. W. Starkey. On October 14, 1918, John F. Gullatt acquired the half interests in Section 16 previously owned by Vance and Starkey. Gullatt was from prominent local family that had settled in Jackson County in the 1830s. He continued to farm the property until 1930 or 1931 when he moved his family to Connecticut to work with a family dry cleaning business. The Gullatts retained ownership of the property and the farm was operated by tenants. The remaining buildings on the site, a well house, privy and shed, were constructed in the mid-twentieth century. The farmhouse was vacated in the late 1950s or early 1960s when a new house was constructed for the tenants and it has remained unoccupied since that time. The property is now owned by John F. Gullatt's granddaughter, Betty Gullatt Budlong.

### Settlement

Settlement on the property corresponds to the end of Jackson County's major period of development which began in the 1820s. While sporadic white settlement had occurred prior to that time, the county was largely settled between 1820 and 1860. White population rose forty percent between 1820 and 1830, from 8,129 to 11,418 residents. The 1820 slave population of 539 rose to 1,264 by 1830, representing six and ten percent of the county's total population respectively. By 1840, white population rose by an additional twenty three percent

*Continued on Next Sheet*



## CONTINUATION/AMENDMENT SHEET

Historic Preservation  
Certification Application

Townsend/Gullatt Farmhouse

Property Name

Hollywood, Jackson Co., Alabama

Property Address

**Continuation Sheet #4**

### 6. Statement of Significance, Continued.

to 13,853 and slave population reached 1,816. Over the next two decades, the county's white population rose more slowly, averaging only about a seven percent increase. On the other hand, the slave population rose more dramatically and reached 3,405 by 1840, an eighty-seven percent increase. By 1860, slaves accounted for almost nineteen percent of the county's population.

A comparison of 1860 census records indicates that Daniel Townsend's assets were higher than most Jackson County residents of the time, although numerous individuals possessed far larger estates. His eight slaves were a modest number compared to other slaveholders in the county.

#### Architecture

The Townsend/Gullatt Farm retains two historic resources: The Townsend/Gullatt Farmhouse, a frame dwelling dating from circa 1870, and a log dwelling dating from circa 1860. Documentary, physical and stylistic evidence indicates that the Townsend/Gullatt Farmhouse was constructed shortly after the property was acquired by Daniel Townsend in 1866. Architecturally, the house exhibits folk Victorian stylistic details that are transitional in character from the Greek Revival. Significant features of the exterior include its boxed cornice with returns, limestone chimneys, central roof gable, oversized facade windows, gable porch and central entrance with transom and sidelights. The modest interior is defined by its overall central hall plan, spatial character, and surviving trim which includes several period mantelpieces. The house retains its overall architectural integrity and is representative of a modest mid-nineteenth century Jackson County farmhouse. The log dwelling appears to have been constructed as a single room house. Documentary and physical evidence suggest that it was constructed somewhat earlier than the Townsend/Gullatt Farmhouse and it may have served as a first period settler's cottage dating from circa 1860. The half-dovetailed log construction of the southern portion of the house with its extended eave and limestone chimney are consistent with the mid-nineteenth century and documentary evidence indicates that no settlement occurred on the site prior to circa 1860.

#### Archaeology

The site has potential to yield archaeological information on other former agricultural and domestic outbuildings.



## CONTINUATION/AMENDMENT SHEET

Historic Preservation  
Certification Application

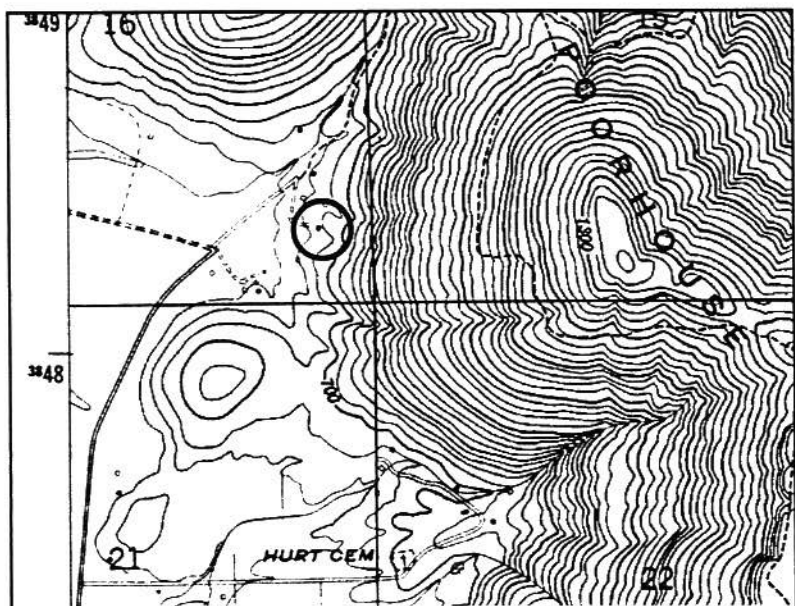
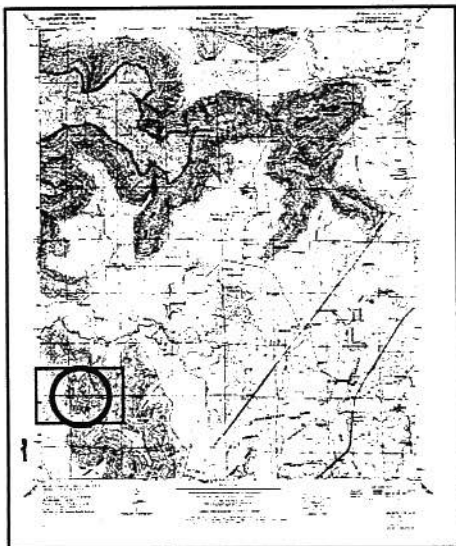
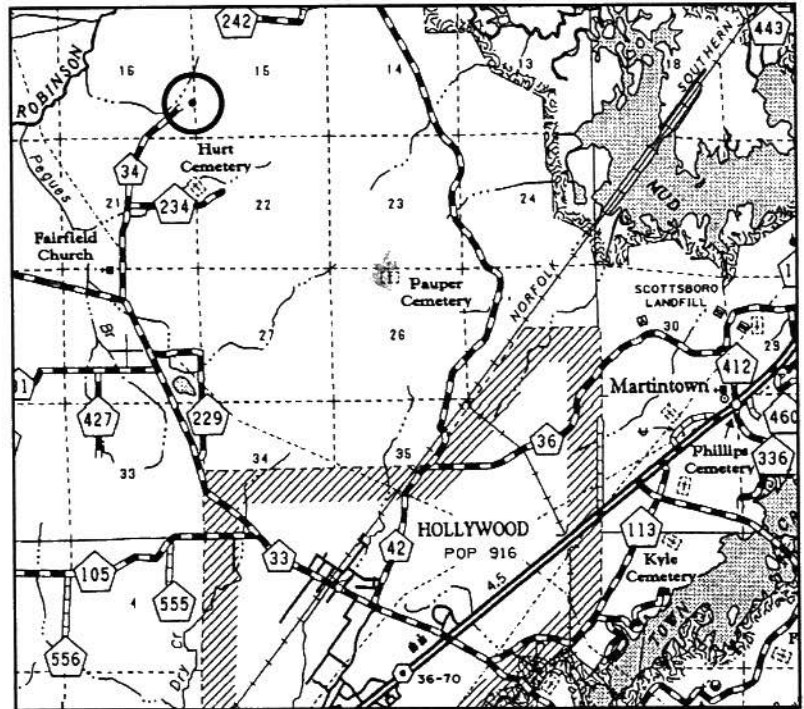
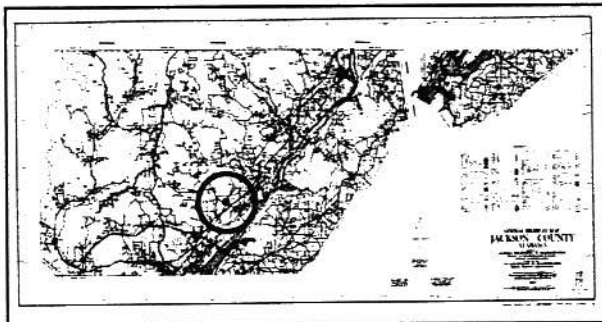
Townsend/Gullatt Farmhouse

Property Name

Hollywood, Jackson Co., Alabama

Property Address

### General Location Maps



Wannville Quadrangle

16 / 592207 E / 3848371 N

Created 1947, Revised 1970

# CONTINUATION/AMENDMENT SHEET

Historic Preservation  
Certification Application

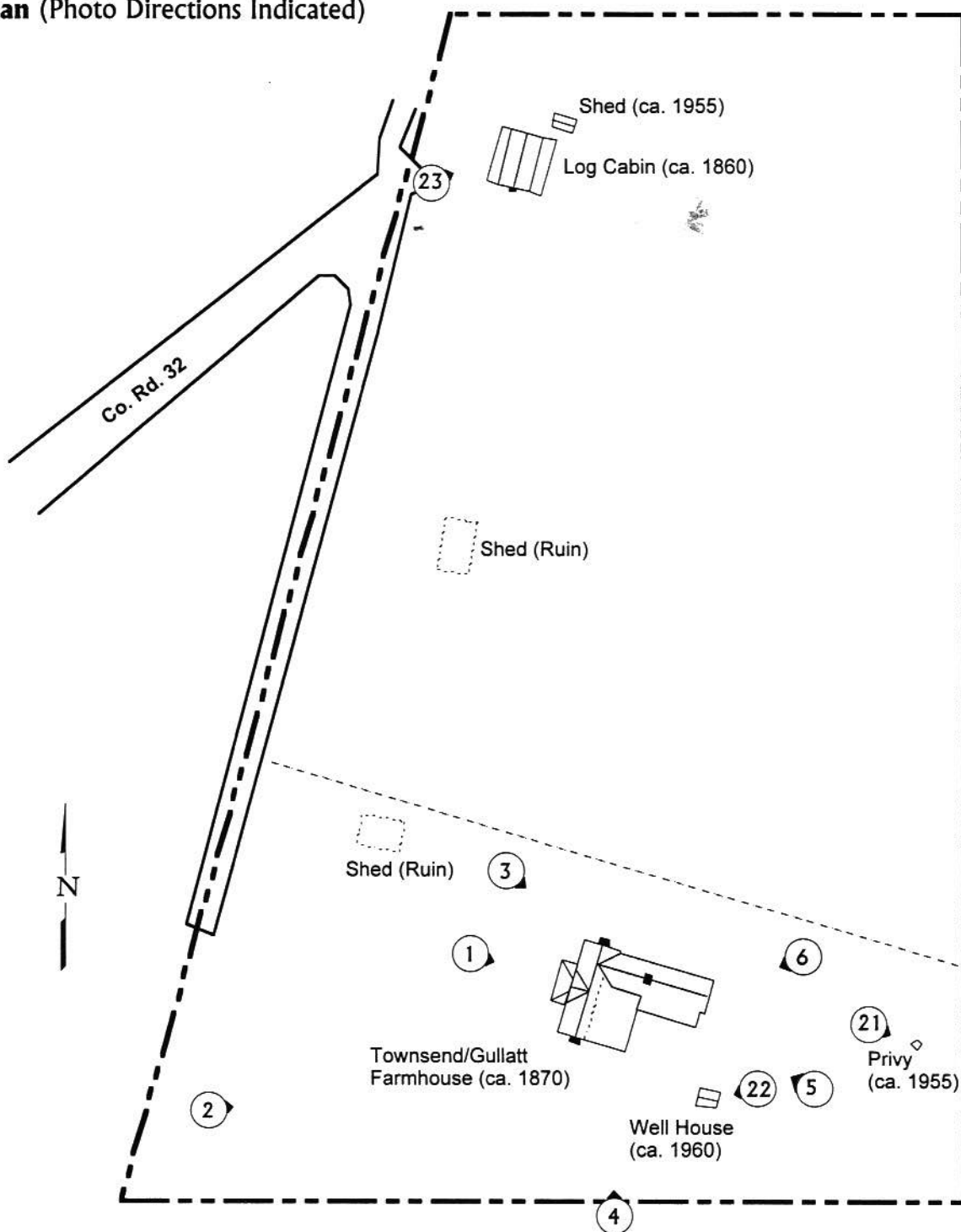
Townsend/Gullatt Farmhouse

Property Name

Hollywood, Jackson Co., Alabama

Property Address

## Site Plan (Photo Directions Indicated)



# CONTINUATION/AMENDMENT SHEET

Historic Preservation  
Certification Application

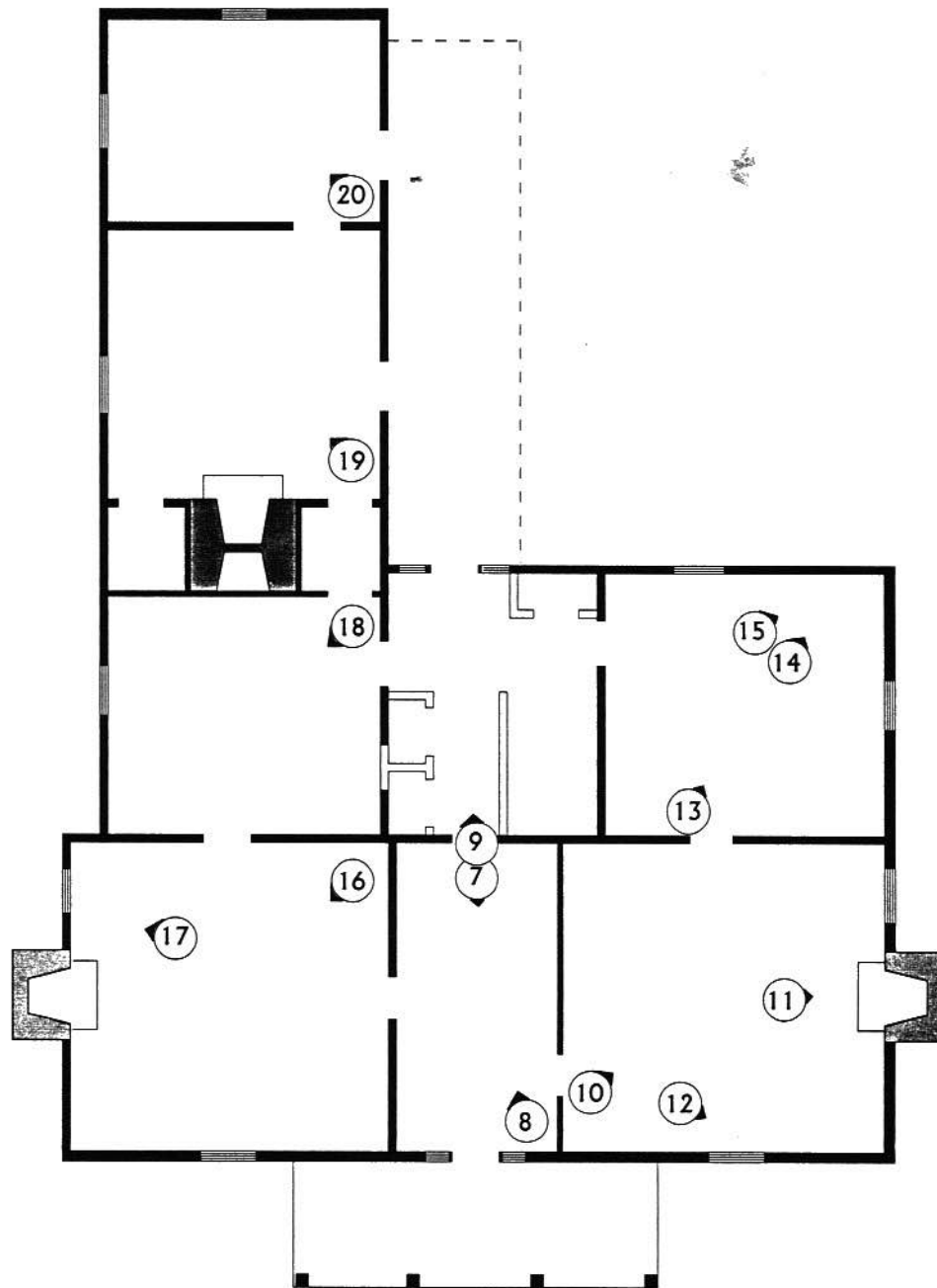
Townsend/Gullatt Farmhouse

Property Name

Hollywood, Jackson Co., Alabama

Property Address

## Floorplan (Photo Directions Indicated)



HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 2 - DESCRIPTION OF REHABILITATION

## NPS Office Use Only

NRIS No:

## NPS Office Use Only

Project No:

Instructions: Read the instructions carefully before completing application. No certification will be made unless a completed application form has been received. Type or print clearly in black ink. If additional space is needed, use continuation sheets or attach blank sheets. A copy of this form may be provided to the Internal Revenue Service. The decision by the National Park Service with respect to certification is made on the basis of the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall take precedence.

1. Name of property: Townsend/Gullatt Farmhouse  
Address of property: Street C.R. 34, east side, 0.8 miles north of C.R. 234  
City Hollywood County Jackson State AL Zip 35752  
☐ Listed individually in the National Register of Historic Places; give date of listing: \_\_\_\_\_  
Located in a Registered Historic District; specify: \_\_\_\_\_  
Has a Part 1 Application (Evaluation of Significance) been submitted for this project? ☒ yes ☐ no  
If yes, date Part 1 submitted: 11/30/2003 Date of certification: \_\_\_\_\_ NPS Project Number: \_\_\_\_\_

## 2. Data on building and rehabilitation project:

Date building constructed: <u>ca. 1870</u>	Total number of housing units before rehabilitation: <u>1</u>
Type of construction: <u>Frame</u>	Number that are low-moderate income: <u>1</u>
Use(s) before rehabilitation: <u>Farmhouse/Vacant</u>	Total number of housing units after rehabilitation: <u>0</u>
Proposed use(s) after rehabilitation: <u>Farmhouse</u>	Number that are low-moderate income: <u>0</u>
Estimated cost of rehabilitation: <u>\$200,000</u>	Floor area before rehabilitation: <u>1,925 s.f.</u>
This application covers phase number <u>1</u> of <u>1</u> phases	Floor area after rehabilitation: <u>2,161 s.f.</u>
Project/phase start date (est.): <u>9/1/2003</u>	Completion date (est.): <u>11/20/2004</u>

## 3. Project contact:

Name David B. Schneider, Schneider Historic Preservation, LLC  
Street 411 E. 6th Street City Anniston  
State AL Zip 36207 Daytime Telephone Number 256-310-6320

## 4. Owner:

I hereby certify that the information I have provided is, to the best of my knowledge, correct, and that I own the described property. I understand that falsification of factual representations in this application is subject to criminal sanctions of up to \$10,000 in fines or imprisonment for up to five years pursuant to 18 U.S.C. 1001.

Name Betty Gullatt Budlong Signature \_\_\_\_\_ Date \_\_\_\_\_  
Organization \_\_\_\_\_  
Social Security or Taxpayer Identification Number 047-28-4953  
Street 3216 Mandeville Canyon Rd. City Los Angeles  
State California Zip 90049 Daytime Telephone Number 310-476-4148

## NPS Office Use Only

The National Park Service has reviewed the "Historic Preservation Certification Application - Part 2" for the above-named property and has determined:

- ☐ that the rehabilitation described herein is consistent with the historic character of the property or the district in which it is located and that the project meets the Secretary of the Interior's "Standards for Rehabilitation." This letter is a preliminary determination only, since a formal certification of rehabilitation can only be issued to the owner of a "certified historic structure" after rehabilitation is completed.
- ☐ that the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's "Standards for Rehabilitation if the attached conditions are met.
- ☐ that the rehabilitation or proposed rehabilitation is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's "Standards for Rehabilitation." A copy of this form will be provided to the Internal Revenue Service.

# Townsend/Gullatt Farmhouse

Property Name

C.R. 34, Hollywood, Jackson County, Alabama, 35752

Property Address

## 6. DETAILED DESCRIPTION OF REHABILITATION/PRESERVATION WORK - Includes site work, new construction, alterations, etc. Complete blocks below.

NUMBER

1

Architectural feature: Introduction

Approximate date of feature: 1870 ca.

Describe existing feature and its condition:

The Townsend/Gullatt Farmhouse is significant under National Register criteria A for its historical associations with the settlement of Jackson County. Documentary evidence indicates that the principal farmhouse on the site was constructed for Daniel Townsend, a Virginia-born planter, sometime shortly after he acquired the property in 1866. The farmhouse is also significant under criterion C as a good example of a modest mid-nineteenth century Jackson County farmhouse. The period of significance for the resource extends from circa 1860, the earliest date by which documentary evidence indicates an associated log dwelling on the property may have been constructed, through circa 1930 when the farmhouse ceased to be a primary residence. The house has been vacant for more than forty years. The Townsend/Gullatt Farm retains two historic resources: The Townsend/Gullatt Farmhouse, a frame dwelling dating from circa 1870, and a log dwelling dating from circa 1860.

The Townsend/Gullatt Farmhouse is an L-shaped 1-story frame dwelling with a cross gable V-crimped metal roof. The roof has a decorative cross gable centered at its front slope and boxed cornices with plain frieze boards and returns. The house faces west and has a 3x1 bay core with a 3-bay deep L wing to the north and a rear shed extension to the south. The L appears to have been slightly extended in the 20th century. A less than full façade hipped porch extends across the center of the façade and is supported by wood posts. A former hipped porch along the south elevation of the rear wing has lost its deck and supports. Cut limestone exterior end chimneys are centered at the side elevations of the core and an interior limestone chimney is located within the L. The exterior is clad with wood weatherboards. The foundation is constructed of cut limestone.

The interior plan of the core consists of a central hall flanked by parlors. A secondary hall to the east within the rear extension was altered by the addition of a series of closets (circa 1960) and the replacement of its former entrance to the rear porch. Secondary rooms are located to the south of the rear hall within the extension and to the north within the L

Describe work and impact on existing feature:

The Townsend/Gullatt Farmhouse will be rehabilitated in accordance with the *Secretary of the Interior's Standards for Rehabilitation*. The long-vacant house will be rehabilitated as a farmhouse for the property's tenant farmers. Principal character-defining elements of the resource will be retained and repaired as needed. The historic exterior appearance of the building will be enhanced through the repair of existing historic fabric and features. The interior will also be enhanced through the repair of its fabric and its return to its historic use. Where the replacement of deteriorated elements is required, replacement elements will match the historic conditions in design, color, texture and other visual qualities and, where possible, materials.

The overall impact of the project will be to retain the historic character of Townsend/Gullatt Farmhouse while enhancing the condition of its contributing historic features and fabric in accordance with the *Secretary of the Interior's Standards for Rehabilitation*.

The property also includes a contributing log dwelling, a privy, a well house and a shed. No rehabilitation work is proposed for any of the other buildings at this time.

Photo no. EC1-23 Drawing no. S1; EC1; A101,401-402



# Townsend/Gullatt Farmhouse

Property Name

C.R. 34, Hollywood, Jackson County, Alabama, 35752

Property Address

NUMBER

2

Architectural feature: Exterior

Approximate date of feature: 1870 ca.

Describe existing feature and its condition:

The principal entrance is centered at the west facade of the house and has a multi-light transom with sidelights and retains a historic single light over paneled door. Tall single wood 1/1 double hung sash windows flank the entrance and are now covered with plywood. Ventilation openings at the foundation correspond to the windows above. The northern opening retains horizontal wood vermin bars. The two western bays of the south elevation represent the core and the rear shed extension. A single tall 1/1 window at the core is similar to those at the façade and flanks the chimney to the east. A lower single window is centered at the extension and has replacement 4/2 sash. Both windows are covered with plywood. The rear L wing has a single off-center 6/6 window covered with plywood flanked to the east by a single entrance. The entrance has a modern 6-light over 3-panel door. The former porch along the L retains only its roof and vestiges of its historic decking. Most of the deck and all of its supports have been lost. The rear (east) elevation has a single 6/6 window covered with plywood at its south bay and a modern multi-light door and sidelight unit (circa 1960) at its center bay corresponding to the rear porch. A small 6-light window is centered at the rear elevation of the L. The north elevation of the core is similar to the south elevation. A single window to the east of the chimney has replacement 1/3 sash. Single 6/6 windows, all covered with plywood, are found at the three bays of the L.

Exterior alterations have been minimal and include the removal of the deck and supports of the secondary rear porch and the replacement of the rear door from the house to the porch. The overall condition of the house is fair with some moisture-related deterioration and extensive deferred maintenance.

Photo no. EC1-6 Drawing no. EC1; A101,401-402

Describe work and impact on existing feature:

The exterior of the Townsend/Gullatt Farmhouse will be rehabilitated in accordance with the *Secretary of the Interior's Standards for Rehabilitation*. Principal character-defining elements of the resource will be retained and repaired as needed. The historic exterior appearance of the building will be enhanced through the repair of existing historic fabric and features. Where the replacement of deteriorated elements is required, replacement elements will match the historic conditions in design, color, texture and other visual qualities and, where possible, materials.

Changes proposed as part of this project are minimal and will be limited to secondary elevations. The overall impact of the project will be to retain the historic character of Townsend/Gullatt Farmhouse while enhancing the condition of its contributing historic features and fabric in accordance with the *Secretary of the Interior's Standards for Rehabilitation*.

# Townsend/Gullatt Farmhouse

Property Name

C.R. 34, Hollywood, Jackson County, Alabama, 35752

Property Address

NUMBER

3

Architectural feature: Roofing

Approximate date of feature: mid-20th c.

Describe existing feature and its condition:

The roof consists of V-crimped metal over roof boards. The present roofing appears to have been installed in the mid-20th century and is in deteriorated condition.

Photo no. EC1-6 Drawing no. EC1; A101,401-402

Describe work and impact on existing feature:

The existing non-historic metal roofing will be replaced with composition shingles. The shingles will be visually compatible with the historic character of the house and will restore a weather-tight condition to the roof and prevent further moisture-related deterioration.

NUMBER

4

Architectural feature: Exterior Wall Surfaces

Approximate date of feature: 1870 ca.

Describe existing feature and its condition:

Exterior walls are finished with wood weatherboard siding.

Photo no. EC1-6 Drawing no. EC1; A101,401-402

Describe work and impact on existing feature:

The existing weatherboard siding will be retained and repaired as needed. All repairs will match existing adjacent historic conditions in design, materials, color, texture, and other visual qualities. All surfaces will be carefully hand-prepared for new finishes, primed and painted in accordance with *Preservation Briefs #6 and #10*.

NUMBER

5

Architectural feature: Porches

Approximate date of feature: 1870 ca.

Describe existing feature and its condition:

A less than full façade hipped porch extends across the center of the façade and is supported by wood posts. A former porch along the south elevation of the rear L retains only its roof and vestiges of its historic decking. Most of the deck and all of its supports have been lost.

Describe work and impact on existing feature:

Front Porch: The existing porch will be retained and repaired as needed. All repairs will match existing adjacent historic conditions in design, materials, color, texture, and other visual qualities. All surfaces will be carefully hand-prepared for new finishes, primed and painted in accordance with *Preservation Briefs #6 and #10*.

Rear Porch: The secondary rear porch will be retained and rehabilitated per the plans submitted. Because the historic layout of the rear L does not include a hallway, access to individual rooms is only possible by passing through other rooms. In order to adapt the L for use as bedrooms and a bathroom while providing adequate privacy, it is necessary to restrict access between the rooms. This project will adapt the secondary rear porch to provide external access to the rooms within in the ell and to provide a closet for the rear bedroom. These enclosed spaces will be recessed behind reconstructed posts and have been designed to be

Continued on Next Sheet

Townsend/Gullatt Farmhouse

Property Name

C.R. 34, Hollywood, Jackson County, Alabama, 35752

Property Address

Block 5, Continued

compatible with the historic character of the house in accordance with Standard #9. No railing has been proposed because there was insufficient architectural or documentary evidence available to indicate that one existed historically. Because the L is recessed behind the front core of the house, the porch is not visible from any public vantage. The overall impact on the historic character of the house will therefore be minimal. All work will be accomplished in such a manner that if it were to be removed in the future the essential form and fabric of the historic resource would be unimpaired in accordance with Standard #10.

Photo no. EC1-6 Drawing no. EC1; A101,401-402

NUMBER  
6

Architectural feature: Chimneys

Approximate date of feature: 1870 ca.

Describe existing feature and its condition:

The house has 3 limestone chimneys: 2 exterior end chimneys at the the core and an interior chimney at the rear wing. The chimneys are in generally good condition.

Photo no. EC1-6 Drawing no. EC1; A101,401-402

Describe work and impact on existing feature:

Only very limited spot repointing is anticipated. All work will be accomplished in accordance with Preservation Brief #2. No cleaning is proposed.

NUMBER  
7

Architectural feature: Windows

Approximate date of feature: 1870 ca., mid-20th c.

Describe existing feature and its condition:

Windows typically have wooden double hung sash. Historic windows at the core are taller than elsewhere with 1/1 sash extending almost to the interior floor. Remaining historic windows typically had 6/6 lights. Several individual sash have been replaced over time. Windows are typically in fair condition with some moisture-related deterioration and some broken elements.

Photo no. EC1-6 Drawing no. EC1; A101,401-402

Describe work and impact on existing feature:

Existing windows will be retained and repaired as needed in accordance with *Preservation Brief #09*. All surfaces will be carefully hand-prepared for new finishes, primed and painted in accordance with *Preservation Briefs #6 and #10*.

One window at the secondary north elevation will be converted into a door per the plans submitted. One of its sash is a non-historic replacement and the other will be used to replace a deteriorated sash elsewhere in the house. Only a deteriorated sill and a minimal amount of other historic fabric will be removed as part of the conversion and the change is readily reversible in accordance with Standard #10. The overall impact of this change on the historic fabric and character of the house will be minimal.

# Townsend/Gullatt Farmhouse

Property Name

C.R. 34, Hollywood, Jackson County, Alabama, 35752

Property Address

NUMBER

8

Architectural feature: Entrances

Approximate date of feature: 1870 ca.

Describe existing feature and its condition:

The principal entrance is centered at the west facade of the house and has a multi-light transom with sidelights and retains a historic single light over paneled door. Two entrances at the south elevation of the L have modern replacement door. A single entrance with multi-light door and sidelights at the center bay of the rear elevation corresponding to the rear porch is a modern replacement system.

Photo no. EC1,3-4,8,14 Drawing no. A-2

Describe work and impact on existing feature:

The principal entrance and door will be retained and repaired as needed. All repairs will match existing adjacent historic conditions in design, materials, color, texture, and other visual qualities.

The entrances at the rear L will be retained and appropriate new wood doors installed. An additional entrance will be added within the rear porch as described in item #7. The nonhistoric rear door will be replaced with a compatible double door per the plans submitted.

NUMBER

9

Architectural feature: Sitework/Landscaping

Approximate date of feature: Modern

Describe existing feature and its condition:

The existing landscaping around Townsend/Gullatt Farmhouse is modern and includes a wide lawn to the front and rear and narrow lawns to the sides and south. Several mature trees are scattered on the site.

Photo no. EC1-6 Drawing no. S1

Describe work and impact on existing feature:

The existing lawns and mature trees will be retained. Minimal appropriate additional landscaping will be added.

# Townsend/Gullatt Farmhouse

Property Name

C.R. 34, Hollywood, Jackson County, Alabama, 35752

Property Address

NUMBER  
10

Architectural feature: Interior, General

Describe work and impact on existing feature:

Approximate date of feature: 1870 ca.; altered mid-20th c.

Describe existing feature and its condition:

The interior plan of the core consists of a central hall flanked by parlors. Single entrances with simple sawn 4-panel doors lead from the hall to the adjoining rooms. Ceilings are typically either beaded board or sheetrock. Walls are typically finished with sheetrock replacing historic plaster finishes. Door surrounds and baseboards are simple plain boards. Historic wood flooring has been covered with resilient tile. Each parlor has a fireplace centered at its outer wall with a simple folk-Victorian style mantelpiece. Ceiling, wall and floor finishes and trim are similar to that of the hall. A secondary hall to the east within the rear extension was altered by the addition of a series of closets (circa 1960) and the replacement of its former entrance to the rear porch. Secondary rooms are located to the south of the rear hall within the extension and to the north within the L. Ceiling, wall and floor finishes and trim are similar to the parlors except at the center room of the L which retains simple beaded board ceiling and wall finishes.

Non-historic alterations to the house have been minimal and have generally included the replacement of ceiling, wall and floor finishes within the interior, the construction of closet partitions within the rear hall, and the replacement of the entrance system from the rear hall to the rear porch. The overall condition of the house is fair with some moisture-related deterioration and extensive deferred maintenance.

The interior of the Townsend/Gullatt Farmhouse will be rehabilitated in accordance with the *Secretary of the Interior's Standards for Rehabilitation*. The long-vacant house will be rehabilitated as a farmhouse for the property's tenant farmers. Principal character-defining elements of the resource will be retained and repaired as needed.

The interior plan will be retained with minimal alteration. The historic spatial character of the principal parlors, hallway and much of the rear L will be retained intact. The existing floorplan does not provide adequate space for a separate kitchen and dining area while still allowing for two bedrooms, a bathroom and a living room. This mix of rooms represents a minimum standard for most modern single-family residences. Only the front parlors are large enough to accommodate a combined kitchen/dining area. Rather than proposing an addition to accommodate a dining area, the project proposes to convert the north parlor into a combined kitchen and dining area. Cabinetry will be installed along interior walls to avoid impact to the character-defining front windows and in order to maintain the existing historic fireplace and mantelpiece.

A bathroom and minimal closet spaces will be added within the secondary rear wing. All work will be accomplished in such a manner that if it were to be removed in the future the essential form and fabric of the historic resource would be unimpaired in accordance with Standard #10.

Photo no. EC7-20 Drawing no. EC1, A401



# Townsend/Gullatt Farmhouse

Property Name

C.R. 34, Hollywood, Jackson County, Alabama, 35752

Property Address

NUMBER

11

Architectural feature: Ceiling, Wall & Floor Finishes

Approximate date of feature: 1870 ca., modern

Describe existing feature and its condition:

Ceilings are typically either beaded board or sheetrock. Walls are typically finished with sheetrock replacing historic plaster finishes except at the central room within the rear L which retains its historic beaded board ceiling and wall finishes. Door surrounds and baseboards are simple plain boards. Historic wood flooring has typically been covered with resilient tile. Each parlor has a fireplace centered at its outer wall with a simple folk-Victorian style mantelpiece.

Photo no. EC7-20 Drawing no. ---

Describe work and impact on existing feature:

Sheetrock ceiling and wall finishes will be replaced in kind. The existing historic trim and beaded board finishes will be retained and repaired as needed. Modern floor coverings will be removed and historic wood finishes refinished where possible. Resilient tile will be added at the bathroom and carpeting will be installed where wood flooring cannot be refinished.

NUMBER

12

Architectural feature: HVAC

Approximate date of feature: N/A

Describe existing feature and its condition:

The house has no existing HVAC system.

Photo no. --- Drawing no. ---

Describe work and impact on existing feature:

A new mechanical system will be installed with minimal impact on significant historic features or fabric. Ductwork will typically be installed above existing ceilings or below flooring. Condense units will be located in inconspicuous exterior locations and will be screened with landscaping. The new HVAC system will be installed in such a manner that if it was to be removed in the future the essential form and character of the building would be unimpaired

NUMBER

13

Architectural feature: Plumbing

Approximate date of feature: Modern

Describe existing feature and its condition:

The existing plumbing system is modern and is in generally poor condition and is limited to water in the kitchen with no bathroom.

Photo no. --- Drawing no. -----

Describe work and impact on existing feature:

A new plumbing system will be installed with minimal impact on significant historic features or fabric.

Townsend/Gullatt Farmhouse

Property Name

C.R. 34, Hollywood, Jackson County, Alabama, 35752

Property Address

NUMBER

14

Architectural feature: Electrical

Approximate date of feature: Modern

Describe existing feature and its condition:

The existing electrical system is modern but is not adequate for present-day code or use requirements.

Describe work and impact on existing feature:

A new electrical system will be installed with minimal impact on significant historic features or fabric.

Photo no. --- Drawing no. ---

Note: The following plans have been submitted with this application:

S-1 Existing Siteplan, Schneider Historic Preservation, LLC, November 2003  
EC-1 Existing Floorplan, Schneider Historic Preservation, LLC, November 2003  
A101 Proposed Floor Plan, J-H Partners, 12/08/2003  
A401 Proposed Elevations, J-H Partners, 12/08/2003  
A402 Proposed Elevations, J-H Partners, 12/08/2003

The following photographs have been submitted with this application:

EC1-23 David B, Schneider, 12 November 2003, revised 2 January 2004.

Application Prepared by David B. Schneider, Schneider Historic Preservation, LLC, 30 November, 2003; revised 9 December 2003.



01

### Exterior, West Facade, Facing East

Prior to Rehabilitation: Note existing cross-gable roof with boxed cornice and decorative gable, wood weatherboard siding, hipped porch, central entrance with transom & sidelights, and single 1/1 windows; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, a new composition shingle roof will be installed to replace the deteriorated V-crimped metal.



02

### Exterior, Site, Facing Northeast

Prior to Rehabilitation: Note existing cross-gable roof with boxed cornice and decorative gable, wood weatherboard siding, hipped porch, central entrance with transom & sidelights, and single 1/1 windows; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, a new composition shingle roof will be installed to replace the deteriorated V-crimped metal; site will be re-landscaped in a manner that is compatible with the overall historic character of the site.



03

### Exterior, Oblique, Facing Southeast

Prior to Rehabilitation: Note existing cross-gable roof with boxed cornice and decorative gable, wood weatherboard siding, hipped porch, central entrance with transom & sidelights, and single 1/1 windows; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, a new composition shingle roof will be installed to replace the deteriorated V-crimped metal.



04

### Exterior, Oblique, Facing Northwest

Prior to Rehabilitation: Note existing rear L wing, roof with boxed cornice, wood weatherboard siding, porch structure lost at rear porch, windows covered with plywood; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, a new composition shingle roof will be installed to replace the deteriorated V-crimped metal; the porch will be reconstructed as an enclosed space per the plans submitted with minimal impact on the overall historic character of the building.



05

Exterior, Oblique, Facing West

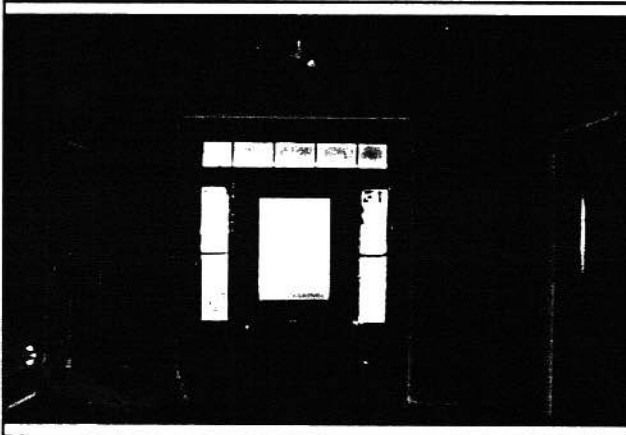
Prior to Rehabilitation: Note existing rear L wing, roof with boxed cornice, wood weatherboard siding, porch structure lost at rear porch, windows covered with plywood; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, a new composition shingle roof will be installed to replace the deteriorated V-crimped metal; the porch will be reconstructed as an enclosed space per the plans submitted with minimal impact on the overall historic character of the building.



06

Exterior, Oblique, Facing Southwest

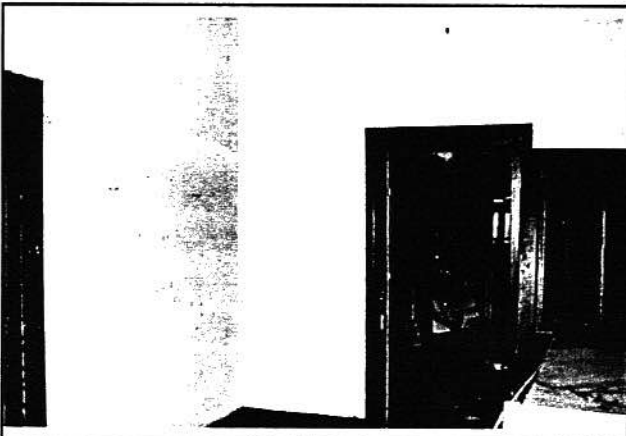
Prior to Rehabilitation: Note existing rear L wing, roof with boxed cornice, wood weatherboard siding, porch structure lost at rear porch, windows covered with plywood; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, a new composition shingle roof will be installed to replace the deteriorated V-crimped metal; the porch will be reconstructed as an enclosed space per the plans submitted with minimal impact on the overall historic character of the building.



07

Interior, Front Hall, Facing West

Prior to Rehabilitation: Central hallway with replacement sheetrock ceiling and wall finishes, resilient floor coverings, simple historic trim and principal entrance with transom & sidelights; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, new sheetrock finishes will be installed to approximate the visual character of the historic plaster finishes.

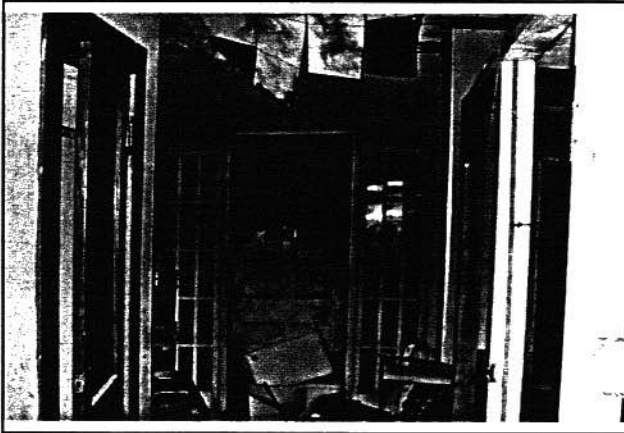


08

Interior, Front Hall, Facing Northeast

Prior to Rehabilitation: Central hallway with replacement sheetrock ceiling and wall finishes, resilient floor coverings, simple historic trim; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, new sheetrock finishes will be installed to approximate the visual character of the historic plaster finishes.

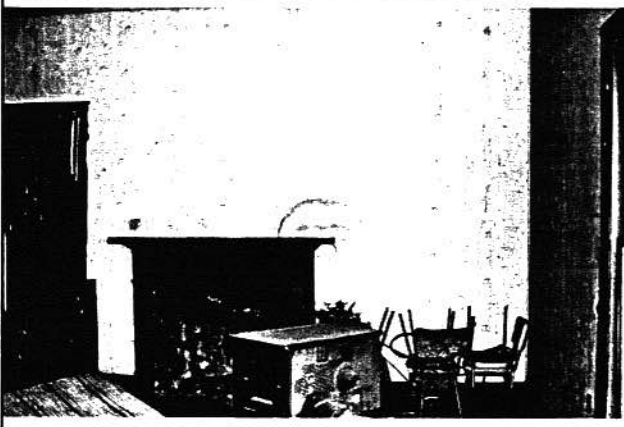




09

### Interior, Rear Hall, Facing East

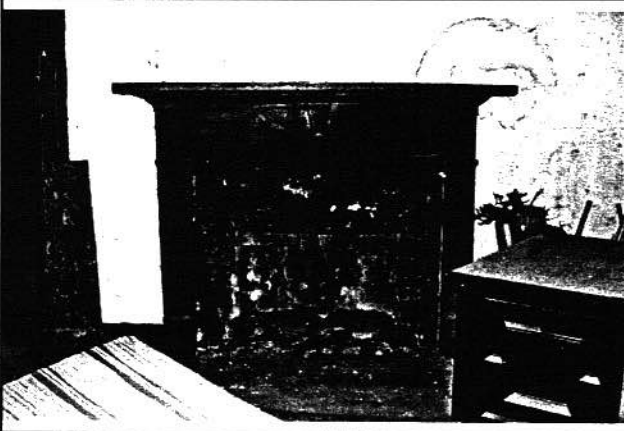
Prior to Rehabilitation: Secondary rear hallway with replacement sheetrock ceiling and wall finishes, resilient floor coverings, modern closet enclosures and replacement entrance with sidelights (ca. 1960) accessing the former rear porch; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, new sheetrock finishes will be installed to approximate the visual character of the historic plaster finishes.



10

### Interior, Southwest Room, Facing Southeast

Prior to Rehabilitation: Room retains its historic mantelpiece and trim; replacement sheetrock ceiling and wall finishes and resilient floor coverings; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, new sheetrock finishes will be installed to approximate the visual character of the historic plaster finishes.



11

### Interior, Southwest Room, Detail of Mantel

Prior to Rehabilitation: Room retains its historic mantelpiece and trim, wood flooring; replacement sheetrock ceiling and wall finishes; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, new sheetrock finishes will be installed to approximate the visual character of the historic plaster finishes.

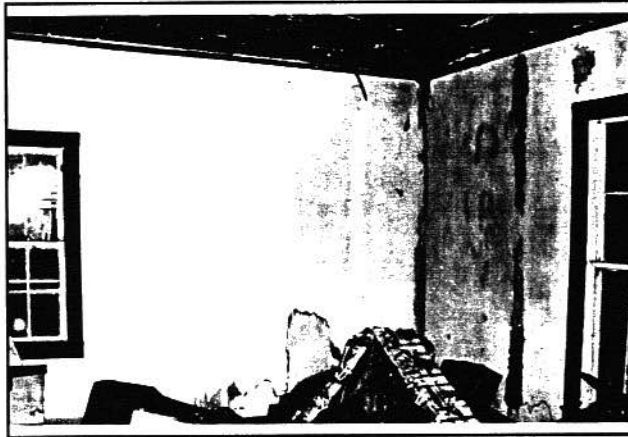


12

### Interior, Southwest Room, Detail of Floor

Prior to Rehabilitation: Room retains its historic mantelpiece and trim, wood flooring; replacement sheetrock ceiling and wall finishes; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, new sheetrock finishes will be installed to approximate the visual character of the historic plaster finishes; deteriorated flooring will be repaired as needed.

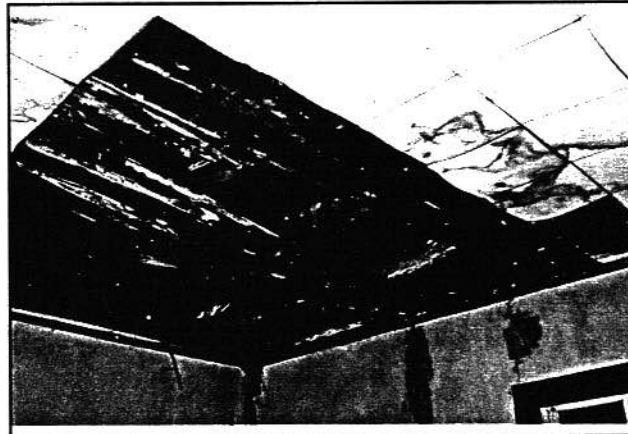




13

### Interior, Southeast Room, Facing Southeast

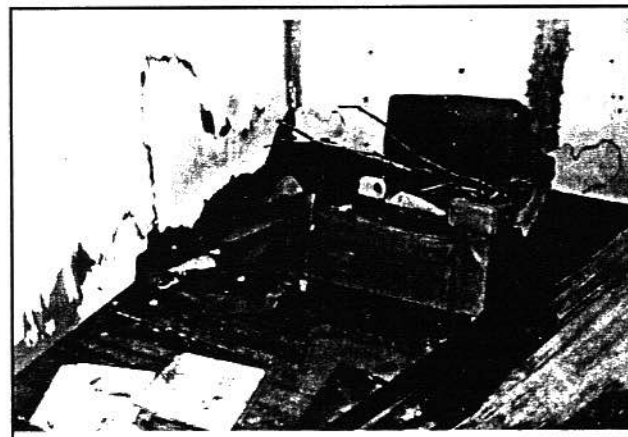
Prior to Rehabilitation: Deteriorated ceiling, wall and floor due to roof leak; replacement sheetrock ceiling and wall finishes; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, new sheetrock finishes will be installed to approximate the visual character of the historic plaster finishes.



14

### Interior, Southeast Room, Detail of Ceiling

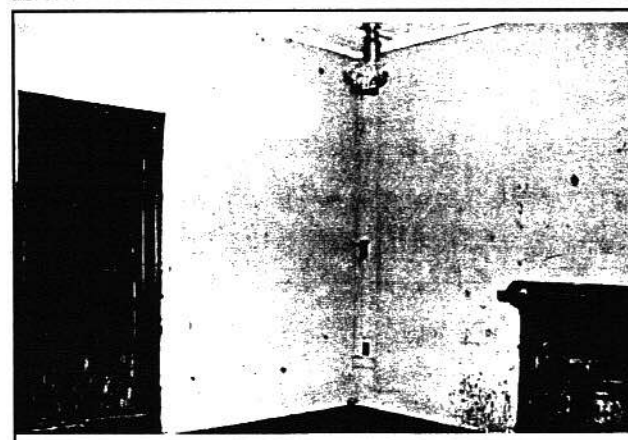
Prior to Rehabilitation: Deteriorated ceiling, wall and floor due to roof leak; replacement sheetrock ceiling and wall finishes; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, new sheetrock finishes will be installed to approximate the visual character of the historic plaster finishes.



15

### Interior, Southeast Room, Detail

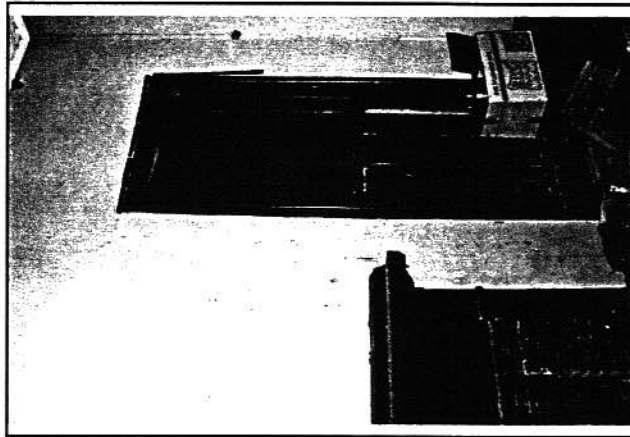
Prior to Rehabilitation: Deteriorated ceiling, wall and floor due to roof leak; replacement sheetrock ceiling and wall finishes; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, new sheetrock finishes will be installed to approximate the visual character of the historic plaster finishes.



16

### Interior, Northwest Room, Facing Northwest

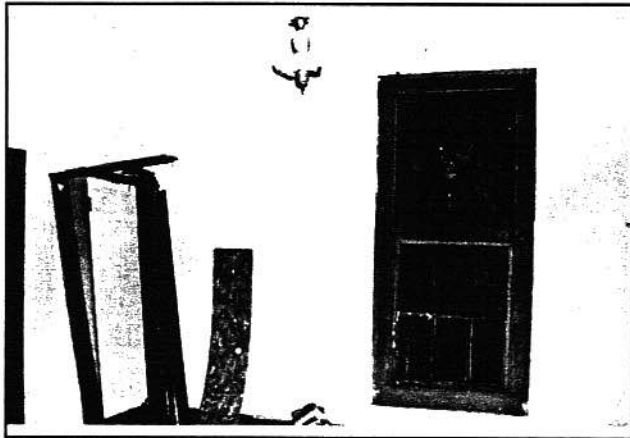
Prior to Rehabilitation: Room retains its historic mantelpiece and trim; replacement sheetrock ceiling and wall finishes, replacement resilient flooring; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, new sheetrock finishes will be installed to approximate the visual character of the historic plaster finishes; flooring will be re-exposed and repaired if possible, otherwise new resilient flooring will be installed.



17

Interior, Northwest Room, Detail of Window

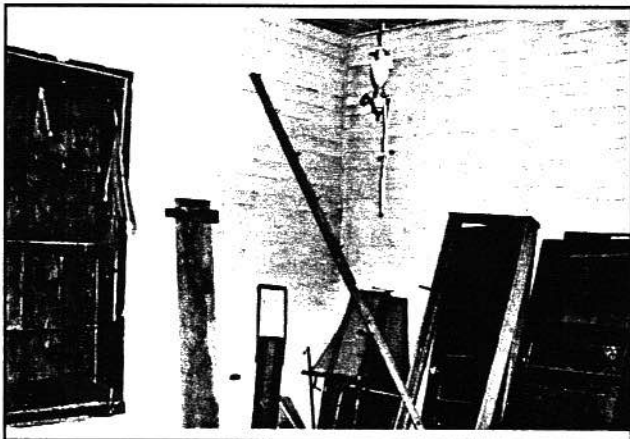
Prior to Rehabilitation: Note that window extends almost to floor and that it has replacement sash; it is proposed that this window be converted into a side entrance with minimal loss of significant historic fabric, the alteration is at a minimally visible secondary elevation and will be readily reversible.



18

Interior, Northeast Room, Facing Northwest

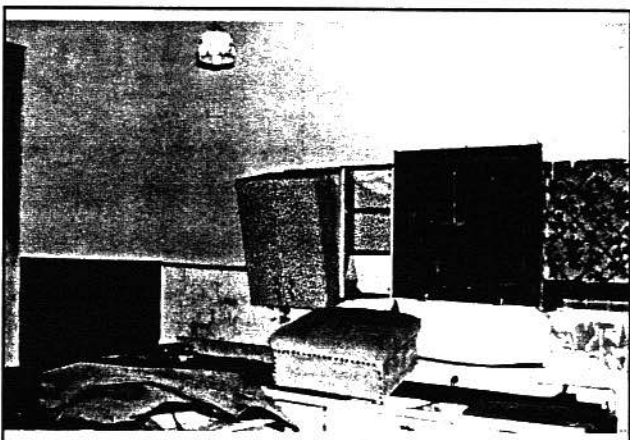
Prior to Rehabilitation: Room retains its historic trim; replacement sheetrock ceiling and wall finishes, replacement resilient flooring; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, new sheetrock finishes will be installed to approximate the visual character of the historic plaster finishes; this room will be converted for bathroom and closet space per the plans submitted with minimal loss of significant historic fabric.



19

Interior, Rear Wing, West Room, Fac. Northeast

Prior to Rehabilitation: Room retains its historic trim, mantelpiece and board ceiling and wall finishes; replacement resilient flooring; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, wood ceiling and wall finishes will be retained and repainted; flooring will be re-exposed and repaired if possible, otherwise carpeting will be installed.



20

Interior, Rear Wing, Kitchen, Fac. Northeast

Prior to Rehabilitation: Room retains its historic trim; replacement sheetrock ceiling and wall finishes, replacement resilient flooring; all significant historic features and fabric will be retained and repaired as needed to match existing adjacent conditions, new sheetrock finishes will be installed to approximate the visual character of the historic plaster finishes; flooring will be re-exposed and repaired if possible, otherwise carpeting will be installed.



**21**

**Site, Privy, Facing East**

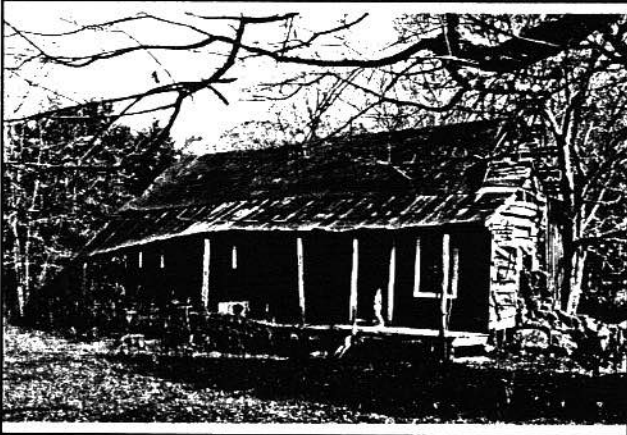
Prior to Rehabilitation: The privy will be retained. No work is planned during this project.



**22**

**Site, Well House, Facing Southwest**

Prior to Rehabilitation: The noncontributing well house will be retained and repaired as needed.



**23**

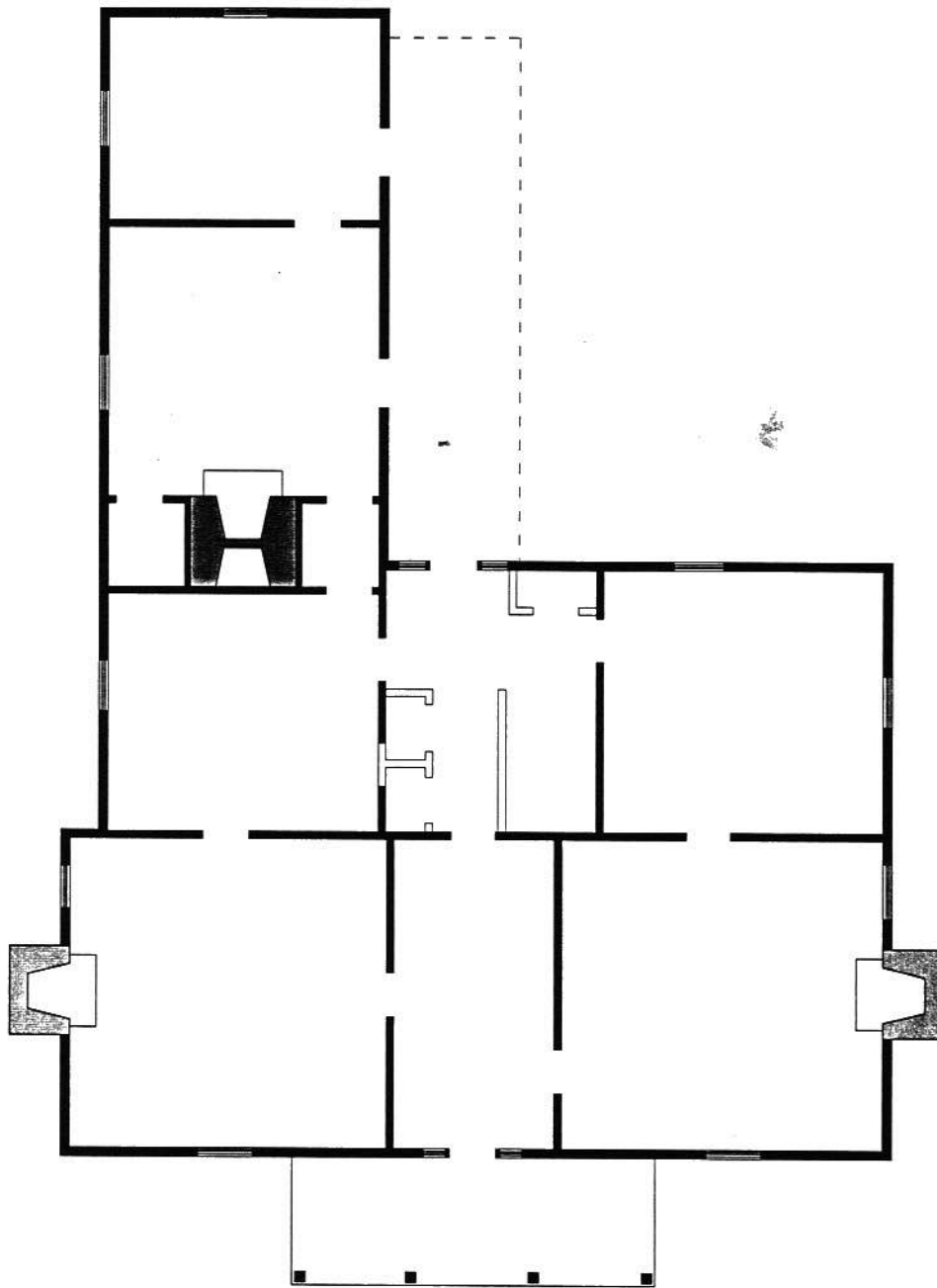
**Site, Log House, Facing Northeast**

Prior to Rehabilitation: The contributing log house will be retained; no work is proposed at this time.

# Townsend/Gullatt Farmhouse

Hollywood Vicinity, Jackson County, Alabama

EC-1 Floorplan, Existing



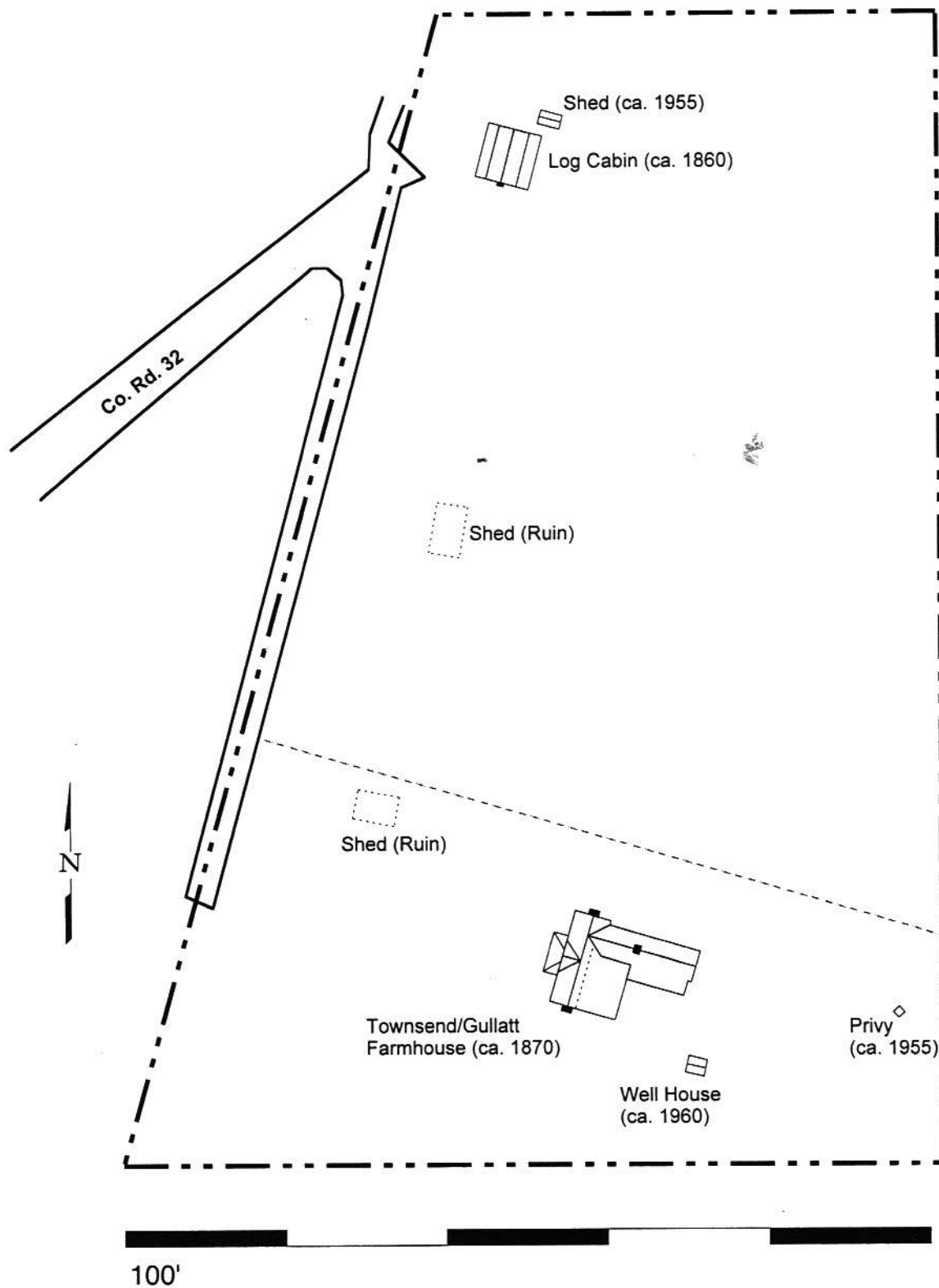
**SCHNEIDER**  
Historic Preservation, LLC

411 E. 6th Street, Anniston, Alabama 36207  
Phone: 256-310-3260 • Fax: 419-818-0539 • e-mail: dschneider@bellsouth.net

# Townsend/Gullatt Farmhouse

Hollywood Vicinity, Jackson County, Alabama

S-1 Siteplan, Existing



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Nextel Direct Connect: 27\*16036 (state code 154)

May 6, 2004

Ms. Elizabeth Moore Rossi  
Technical Preservation Services  
United States Department of the Interior  
National Park Service  
1849 C Street NW  
Washington, DC 20240

RE: Townsend/Gullatt Farmhouse, Hollywod, Jackson County, Alabama  
NPS Project Number 13285

Dear Ms. Rossi,

Your approval letter for the above-referenced project dated March 26, 2004 contained the following condition: "Exterior architectural features and finishes, consisting of metal roofing, must be preserved. Ideally, the existing roofing material should be repaired. However, if deterioration requires replacement of the roofing material, then the replacement material must match the existing roofing in material (metal), unless a substitute material replicating the appearance of the existing metal roofing is used. The proposed use of composite or asphaltic shingles is not in keeping with the historic character of the house or the roof." The letter went on to indicate that we should file an amendment describing our alternative roofing proposal via our SHPO. We are instead providing the following additional information directly to you documenting historic conditions we believe support our original proposal to replace the existing roofing with composition shingles. This information was not provided with the HPCA-Part 2.

As I described to you in our telephone conversation in late March, we have obtained photographic and testimonial documentation that the historic roofing material on the building was wood shingles and that that material was only replaced within the past fifty years. In the attached documentation, photograph #1 is a historic view of the house taken circa 1949. The photo clearly shows wood shingles present at that time. The present owner, in whose family's ownership the house has been since 1918, has personal knowledge of the house spanning more than fifty years. It is her recollection that prior to circa 1960 the roof was always finished with wood shingles and that at the time of their replacement the shingles shown on the circa 1949 photo were very old and deteriorated. We re-examined the roof structure and discovered physical evidence of the historic wood shingle roofing in the form of surviving nailing in the roof boards and fragments of wood shingles - please see Photos #6-9).

The existing metal roofing was, by Mrs. Budlong's recollection, intended to stabilize the roof during a period when the house was to be vacant and was never intended to be a permanent replacement. Accordingly, the roofing is of two types: modern V-crimped roofing covers the front slope of the

Elizabeth Moore Rossi

May 6, 2004

Page 2

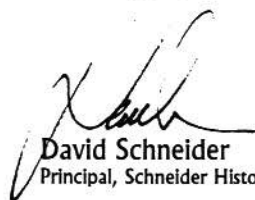
core and the north slope of the rear wing and a standing seam metal roof covers the remainder. The standing seam roofing has a simple interlocking detail, the seams of which were never crimped and the tabs of which were left exposed. Both types of metal are in deteriorated condition. Replacement of the V-crimped roofing in kind is possible, but this type of roofing is typically not intended for residential applications and has a tendency to leak and fail through the action of wind. It is not practical to replace the standing seam metal in kind, since its original installation was obviously temporary in nature due to the failure to properly crimp the seams and tabs.

Therefore, based on the documentation we obtained subsequent to filing the HPCA-Part 2, we believe the existing metal roof is not consistent with the historic character of the house. Documentary and physical evidence indicates that the house had a wood shingle roof from the time of its construction circa 1870 through the mid-1950s. While replacing the metal roofing with wood shingles would be a preferred preservation alternative, the additional cost would be impractical due to the modest size of the house, its rural location, and its proposed re-use as a tenant farmhouse. In addition to the increased material cost, the cost to insure the house with a wood roof should also be considered. Accordingly, we are proposing to replace the existing non-historic metal roofing with composition shingles per the HPCA Part 2 submitted. We have attached a "cut sheet" showing the proposed material, the texture and color of which will visually approximate the appearance of a weathered wood shingle roof.

Given the length of time the review of this project has taken since it was originally submitted to the Alabama Historical Commission on December 7, 2003, we respectfully request any assistance you might provide in expediting a response to this letter. Construction work has already begun and a resolution of the roof issue is critical to completing the project on schedule.

Again, we appreciate your consideration and assistance. Please let me know if we can provide any additional information or answer any questions.

Sincerely,



David Schneider

Principal, Schneider Historic Preservation, LLC

DBS/jm  
enclosures



**Photo #1:** View of the Townsend/Gullatt Farmhouse taken circa 1949 Note that the house retained its historic wood shingle roof at that time. The present owner, Betty Gullat Budding recalls that the metal roofing was applied circa 1960 when the house became vacant. The roofing was installed as a temporary measure to prevent the house from deteriorating.

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## **SCHNEIDER**

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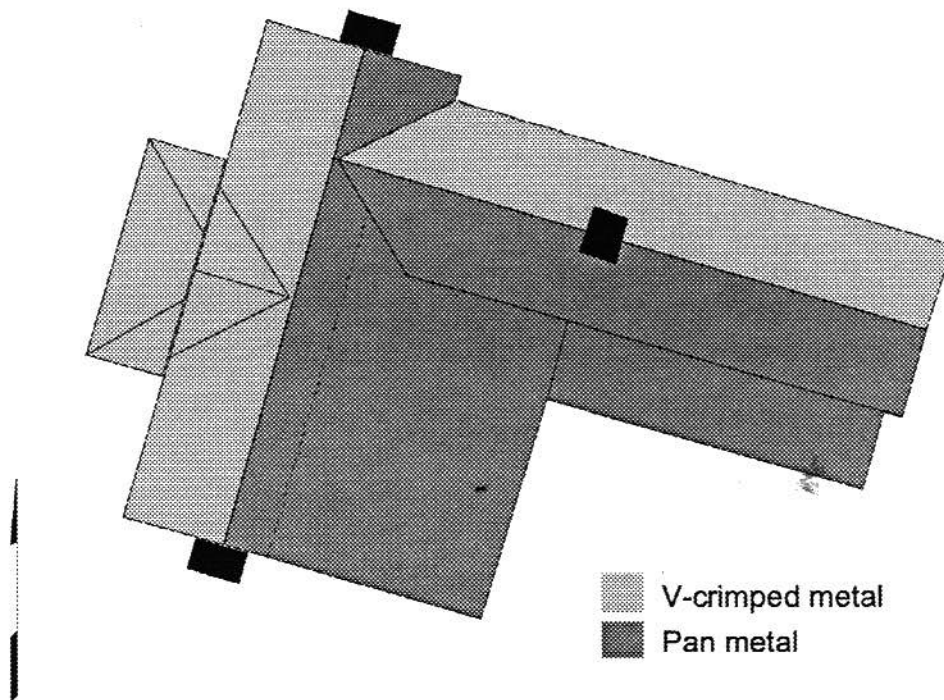


Figure #1: Existing roof material location.

---

## SCHNEIDER

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Phone: 256-225-2361 • Fax: 419-818-0539 • e-mail: [dbschneider@bellsouth.net](mailto:dbschneider@bellsouth.net)





Photo #2: Front slope of roof, note V-crimped metal roofing in fair to poor condition.



Photo #3: Rear slope of roof, note raised seam metal roof in fair to poor condition.

---

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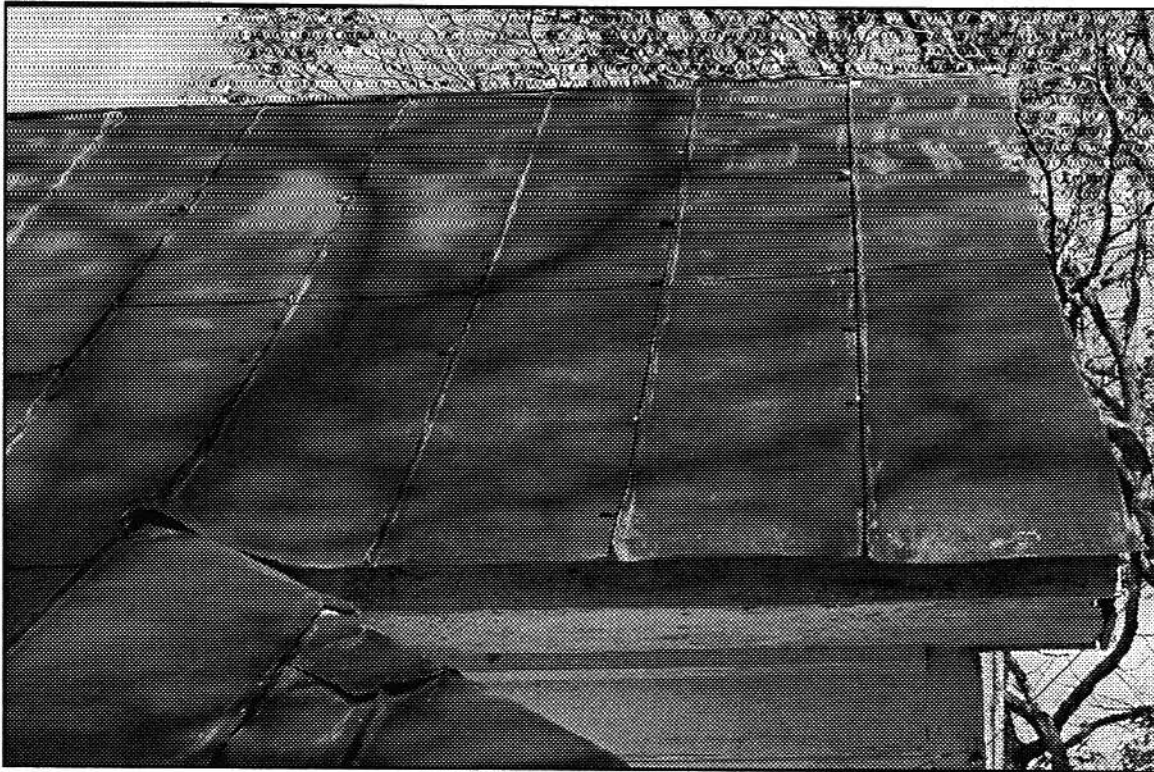


Photo #4: South slope at rear ell, note roof pans interlocked, not crimped and with exposed tabs.



Photo #5: Detail of above, note seams not crimped; deteriorated condition of roofing.

## **SCHNEIDER**

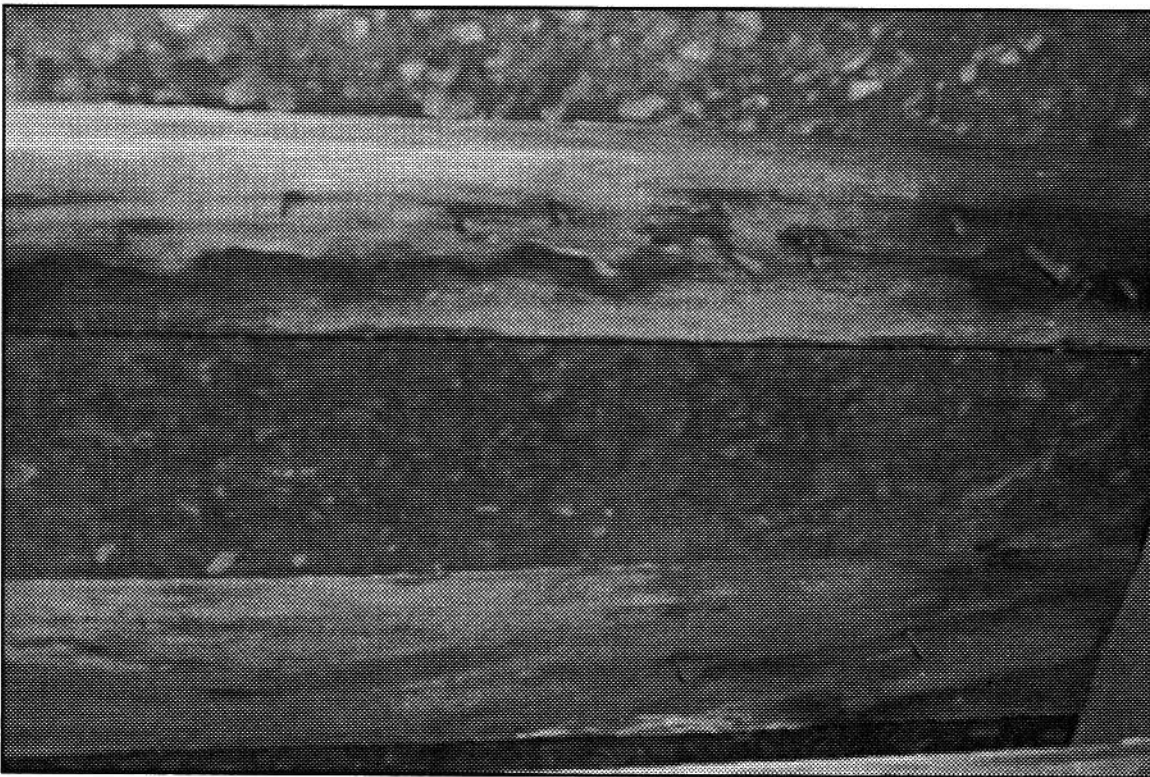
Historic Preservation, LLC

411 E. 6th Street, Anniston, Alabama 36207

Phone: 256-225-2361 • Fax: 419-818-0539 • e-mail: dbschneider@bellsouth.net



**Photo #6:** Interior at rear ell, note nails from older wood shingles protruding through roof boards.



**Photo #6:** Interior at rear ell, note nails from older wood shingles protruding through roof boards.

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## **SCHNEIDER**

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**Photo #8:** Interior at rear ell, note nails from older wood shingles protruding through roof boards.



**Photo #9:** Interior at core, note pieces of broken roof shingles found within attic..

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OPTIONAL FORM NO. 10 (7-80)

**FAX TRANSMITTAL**

To <b>CHLOE MERLER</b>	From <b>EM ROSSI</b>	P. of pages <b>1</b>
Dept./Agency	Phone #	
Fax # <b>334-262-1083</b>	FAX #	

GENERAL SERVICES ADMINISTRATION

Rossi  
5/28/04

H30(2255)

May 28, 2004

Betty Gullatt Budlong  
3216 Mandeville Canyon Road  
Los Angeles, CA 90049

PROPERTY: Townsend/Gullatt Farmhouse, C.R. 34, East Side, 0.8 Miles North Of C.R. 234, Hollywood, AL  
PROJECT NUMBER: (13285)  
TAXPAYER ID NUMBER: 047-28-4953

Dear Ms. Budlong:

The National Park Service has reviewed the additional information for the Historic Preservation Certification Application—Part 2 for this project (submitted by David Schneider) and has determined that the project, as modified by the treatments described, is in conformance with the Secretary of the Interior's Standards for Rehabilitation and with the preliminary approval issued by the office on March 26, 2004.

As you are aware, a formal "certification of rehabilitation" can be issued only to the owner or qualified lessee of a "certified historic structure" after the rehabilitation work is completed. At that time, please submit a Request for Certification of Completed Work, with interior and exterior photographs of the completed work, to this office through the State Historic Preservation Office. An onsite inspection of the completed work by an authorized representative of the Secretary of the Interior may be undertaken prior to issuance of the final certification of rehabilitation.

If you have any questions, please call the State Historic Preservation Office or me at (202) 354-2039.

Sincerely,

Elizabeth Moore Rossi  
Technical Preservation Services Branch

Enclosure

cc: AL SHPO  
David B. Schneider, 411 E. 6th Street, Anniston, AL 36207



# United States Department of the Interior

## NATIONAL PARK SERVICE

1849 C Street, N.W.  
Washington, D.C. 20240

IN REPLY REFER TO:

H30(2255)

March 26, 2004

Betty Gullatt Budlong  
3216 Mandeville Canyon Road  
Los Angeles, CA 90049

PROPERTY: **Townsend/Gullatt Farmhouse, C.R. 34, East Side, 0.8 Miles North Of C.R. 234,  
Hollywood, AL**  
PROJECT NUMBER: **(13285)**  
TAXPAYER ID NUMBER: **047-28-4953**

Dear Ms. Budlong:

The National Park Service (NPS) has reviewed the Historic Preservation Certification Application – Part 1 and Part 2 for the property cited above, and has determined that the property appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.

Because the property contains more than one building, and those buildings were functionally related historically to serve an overall purpose, program regulations require NPS to determine which of the buildings contribute to the significance of the historic property, and therefore will be “certified historic structures” when the property is listed.

Based on the documentation presented, the following buildings appear to contribute to the significance of the property:

Main house  
Log house

This determination is preliminary only. These buildings will become “certified historic structures” only when the property is listed in the National Register of Historic Places.

The documentation also indicates that the following buildings do not appear to contribute to the significance of the property:

Well house  
Privy  
Shed

These buildings are not “certified historic structures” for purposes of rehabilitation.

The same regulations also require NPS to review the rehabilitation work as a single overall project, and to issue rehabilitation certification on the merits of the overall project rather than for each structure.



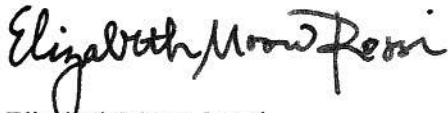
Consequently, the Description of Rehabilitation Work must describe all proposed work on the property, although the 20% investment tax credit is based only on costs for the rehabilitation of "certified historic structures."

We have also determined that the proposed rehabilitation will meet the Secretary of the Interior's Standards if the following condition is met:

Exterior architectural features and finishes, consisting of metal roofing, must be preserved. Ideally, the existing roofing material should be repaired. However, if deterioration requires replacement of the roofing material, then the replacement material must match the existing roofing in appearance and material (metal), unless a substitute material replicating the appearance of the existing metal roof is used. The proposed use of composite or asphaltic shingles is not in keeping with the historic character of the house or the roof. An amendment describing the revision to this work item, including a complete description of the proposed replacement material, should be submitted to the National Park Service for review and approval prior to beginning work. The amendment should be submitted through the State Historic Preservation Office.

A copy of this decision will be forwarded to the Internal Revenue Service. If you have any questions regarding the review of your application, please contact me at (202) 354-2039.

Sincerely,



Elizabeth Moore Rossi  
Technical Preservation Services

Enclosures

cc: IRS  
AL SHPO  
David B. Schneider, 411 E. 6th Street, Anniston, AL 36207

Form 10-108d  
Revised 1/2000UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE**Historic Preservation Certification Application  
State Historic Preservation Office Review & Recommendation Sheet  
Rehabilitation—Part 2/Part 3**

Project Number: \_\_\_\_\_

Number <b>1</b>	Townsend/Gullatt Farmhouse		Preliminary done
	(Property)		
	C.R. 34		Non-standard billing
	(Property)		
	Hollywood, Alabama 35752 Jackson County		
Certified Historic Structure? _____ Yes <input checked="" type="checkbox"/> pending			
Type of Request: _____ <input checked="" type="checkbox"/> Part 2			
_____ Part 3 (Part 2 previously reviewed)			
_____ Part 3 (Part 2 not previously reviewed)			
_____ Amendment			
Date application received by State <u>12/12/03</u>			
Date(s) additional information requested by State <u>12/22/03</u>			
Complete information received by State <u>01/08/04</u>			
Date transmitted to NPS _____			
Property visit by State staff _____ (before) _____ (during) _____ (after) rehab.			

**PROJECT SUMMARY REVIEW**

☒ Fully reviewed by SHPO

☒ No outstanding concerns

\_\_\_\_\_ Owner informed of SHPO recommendation

\_\_\_\_\_ In-depth NPS review requested

Number <b>2</b>	<b>STATE RECOMMENDATION:</b>	
	<p>Chloe Mercer</p> <p>who meet the Secretary of the Interior's Professional Qualification Standards, have reviewed this application.</p> <p>The project:</p> <p><input checked="" type="checkbox"/> meets the Standards.</p> <p>_____ meets the Standards <i>only</i> if the attached conditions are met.</p> <p>_____ does not meet Standard number(s) _____ for the reasons listed on reverse.</p> <p>_____ warrants denial for lack of information.</p> <p>_____ This application is being forwarded without recommendation.</p> <p>For completed work previously reviewed, check as appropriate:</p> <p>_____ completed rehabilitation conforms to work previously approved.</p> <p>_____ completed rehabilitation differs substantively from work previously approved (describe divergences from Part 2 application on reverse).</p>	

January 22, 2004 Risaleh Samir

Date State Official Signature Deputy SHPO

This is a review sheet only and does not constitute an official certification rehabilitation.

Number 3	ISSUES:	
	<input type="checkbox"/> Additions, including rooftop	<input type="checkbox"/> Alteration of significant exterior features or surfaces
	<input type="checkbox"/> Alteration, removal, or covering of significant interior finishes or features	<input type="checkbox"/> Adjacent new construction, extensive site work, or demolition of adjacent structures
	<input type="checkbox"/> Changes in significant interior spaces or plan features (including circulation patterns).	<input type="checkbox"/> Window replacements on any major elevation that do not match historic configuration, material, and profiles
	<input type="checkbox"/> Damaging or inadequately specified masonry treatments	<input type="checkbox"/> Other (explain)

Number	Basis for Recommendation. Focus on how the issues checked in NUMBER 3 are being addressed. Where denial is recommended, explain fully. Comment on noteworthy aspects of the project, including any technical or design innovations, or creative solutions.
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## STATE EVALUATION OF PROJECT &amp; CONCERNS:

This project involves general repair of exterior and interior materials and features in order to make the building habitable again.

Exterior changes include replacement of the deteriorated tin roof with composition shingles; enlargement of a window into a door; and rebuilding and enclosure of a dilapidated rear porch. The proposed new roof material is standard replacement material and will not alter the character of the house. Replacement of an existing window opening with a door will not significantly alter the size or appearance of that opening from the interior or exterior. Visibility of this secondary entrance will be minimal due to its location behind the stone chimney and due to the angle of the house from the road. Finally, only the roof and remnants of the foundation of the rear ell porch remain. Rebuilding deteriorated and missing components of this rear porch and filling in with traditional infill materials will not significantly alter the overall appearance of the farmhouse. This porch is totally hidden from public view, the infill is set behind new porch supports, and the enclosure of this area is necessary for reasonable use of the ell.

Interior changes include installation of kitchen cabinetry along the interior walls of the northwest parlor and construction of walls in secondary spaces to accommodate interior plumbing and closets. These changes do not require removal of historic fabric. Most of the utilitarian uses will be tucked into one secondary room, which will not alter circulation patterns or major spaces in this house.

SHPO recommends approval for this project.

## INNOVATIVE SOLUTIONS/NOTEWORTHY ASPECTS:

☐ new technical process ☐ creative design solution ☐ noteworthy project

☒ Sec attachments: ☒ plans ☐ specifications ☐ photographs ☒ other: See Part 1 Photos  
☐ Items sent separately: ☐ plans ☐ specifications ☐ photographs ☐ other:  
☐ Other documentation on file in State:

## NPS COMMENTS:

Date

National Park Service Reviewer

February 10, 2004

David B Schneider  
Schneider Historic Preservation  
411 E. 6<sup>th</sup> Street  
Anniston, Alabama 36207

Dear David,

LEE H. WARNER  
Executive Director

468 South Perry Street  
Montgomery, Alabama  
36130-0900

tel 334 242•3184  
fax 334 240•3477

I reviewed your Part One application for the Townsend/Gullatt Farmhouse at County Road 34, Hollywood, which we received on January 29, 2004. Everything seems to be in order and I will send it on to the reviewers in Washington, D. C. If you have any questions, my number is 334-230-2688.

Sincerely,



Lindsey Breithaupt  
Historian  
Alabama Historical Commission

Cc:Betty Gullatt Budlong